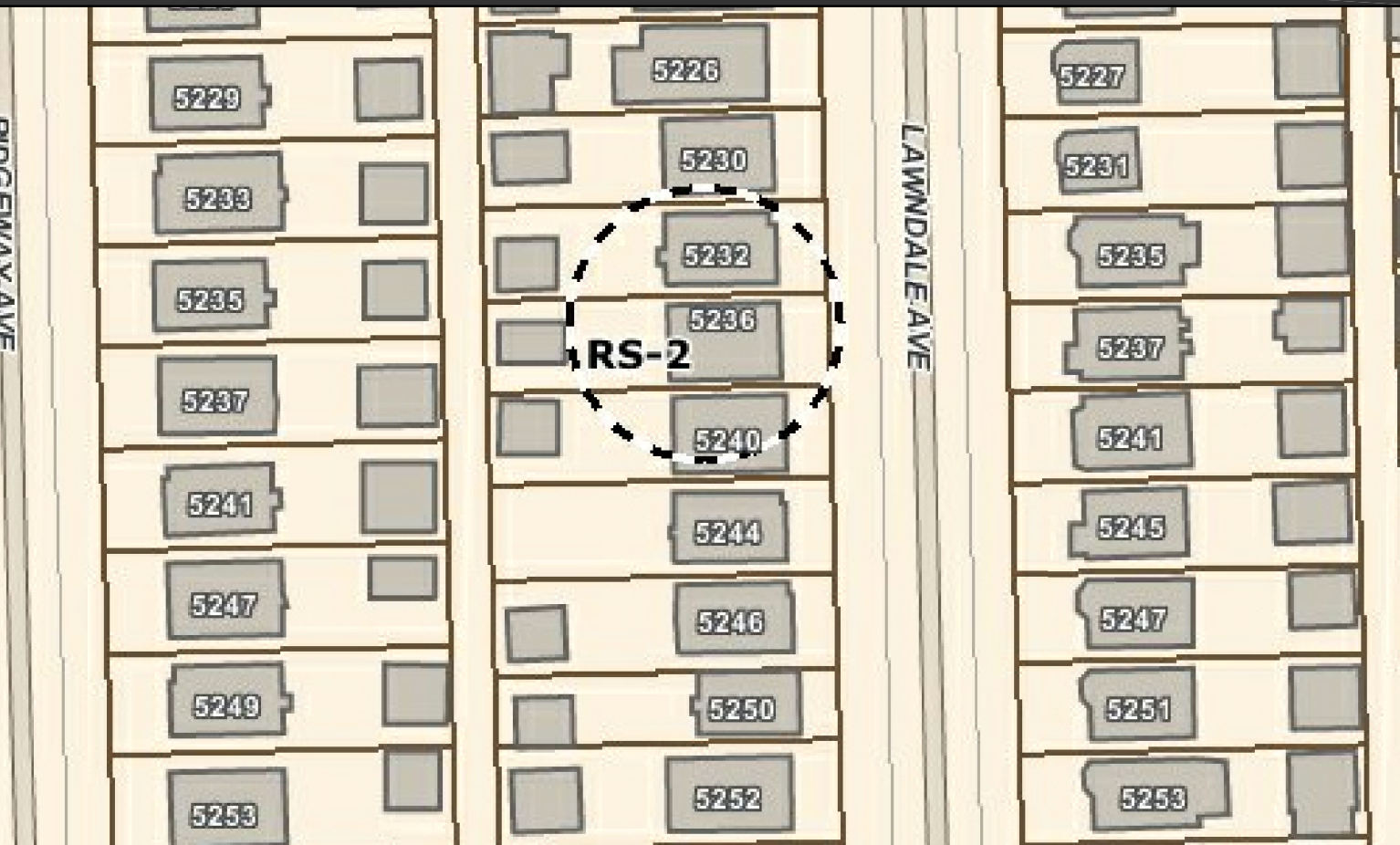


ZONING MAP



PROPOSED SECOND FLOOR ADDITION

5236 S. LAWNDALE AVE.
CHICAGO, ILLINOIS 60632

SHEET INDEX

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419-C HARRISON ST.
OAK PARK, IL. 60304
tel: (708) 948-7332
fax: (708) 575-3004
@: us@kbpartnership.com

PROJECT NAME

NEW REMODEL GONZALEZ ADDITION

PROJECT ADDRESS

5236 S. LAWNDALE AVE.
CHICAGO, ILLINOIS 60632

SHEET TITLE

COVER SHEET

ISSUE

1	OWNER APPROVED	DATE: 01/20/2009
2	ISSUED FOR PERMITS	DATE: 02/16/2009
3		

REVISIONS

1	
2	
3	

NOTICE

This drawing is the sole property of KBP, Inc., and is protected under US copyright law and the Architectural Works Protection Act of 1990. The copy of this drawing and/or distribution to unauthorized personnel or construction of the structure depicted herein without express written consent of KBP, Inc., would constitute infringement of KBP, Inc. The recipient of this drawing acknowledges and agrees that the ownership of the drawing and all other right, title, and interest therein, including without limitation, all rights under US Copyright and other intellectual property law, are retained by KBP, Inc. COPYRIGHT © 2009 ALL RIGHTS RESERVED

SHEET NUMBER

C.1

BUILDING DATA

CODE INFORMATION

1. CITY OF CHICAGO BUILDING CODE

BUILDING DESCRIPTION

SITE DATA:	
LOT SIZE:	4,250 SQ. FT.
FLOOR AREA RATIO:	0.65
ALLOWABLE AREA:	2,762.5 SQ. FT.
BUILDING DATA:	
SIZE AND AREA:	
EXISTING:	931 SQ. FT.
PROPOSED ADDITION:	1,053.5 SQ. FT.
TOTAL:	1,984.5 SQ. FT.
FAR:	OK
NUMBER OF STORIES:	2
BUILDING HEIGHT:	26'-2 3/4"
CONSTRUCTION TYPE:	IV - A
SPRINKLER SYSTEM:	NO
OCCUPANCY CLASSIFICATION:	R - RESIDENTIAL

ZONING INFORMATION

ZONING DISTRICT:	RS-2
MAX FAR:	0.65
MIN OPEN SPACE:	400 SF OR 6% (20' MIN DIMENSION)
REQUIRED SETBACKS:	
FRONT:	20 FT OR 16% OF LOT DEPTH
SIDE:	4 FT
REAR:	35 FT

STATEMENT

ENERGY CONSERVATION CODE COMPLIANCE STATEMENT
I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL. I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THE ATTACHED PLANS FOR 5236 S. LAWNDALE AVE FULLY COMPLY WITH THE REQUIREMENTS OF CHAPTER 18-13, ENERGY CONSERVATION, ENERGY CONSERVATION OF THE MUNICIPAL CODE OF CHICAGO

DATE _____

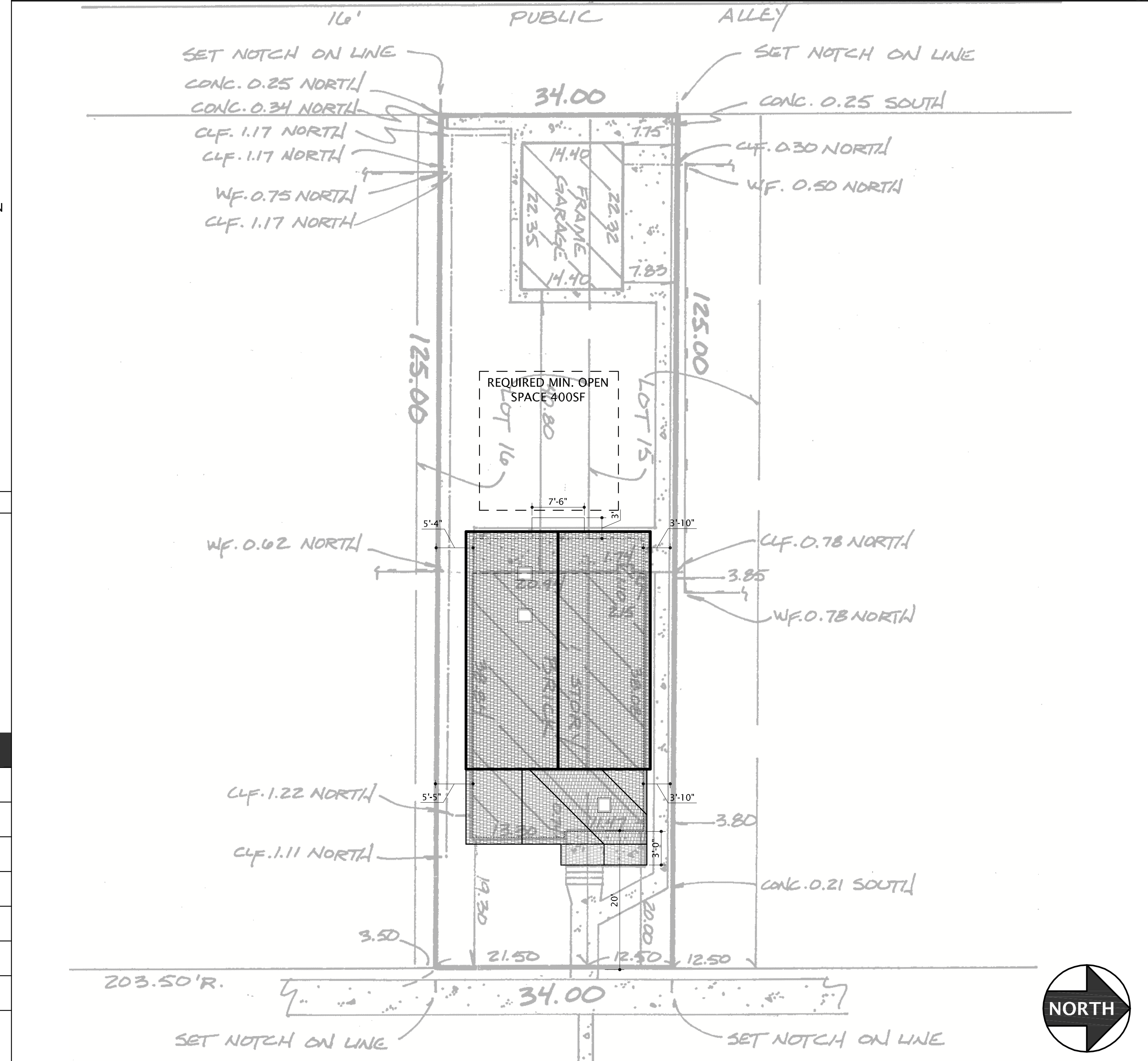
STATEMENT

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE THEY COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES PERTAINING TO BUILDINGS AND STRUCTURES OF: CHICAGO, ILLINOIS

DATE _____

SYMBOLS		PROJECT CONTACTS	
	ELEVATION TAG TOP - ELEVATION NUMBER BOTTOM - SHEET NUMBER		DOOR TAG NUMBER DENOTES DOOR, REFERENCE TO DOOR SCHEDULE
	DETAIL TAG TOP - DETAIL NUMBER BOTTOM - SHEET NUMBER		WALL TYPE TAG
	SECTION TAG TOP - SECTION NUMBER BOTTOM - SHEET NUMBER		REVISION INDICATION
			NORTH INDICATION
	ROOM TAG ROOM NAME FLOOR FINISH ROOM NUMBER		ROOM TAG ROOM NAME FLOOR FINISH ROOM NUMBER

SITE PLAN 1"=10'



GENERAL NOTES

SCOPE DOCUMENTS

THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE ARCHITECTURAL DESIGN CONCEPT. AS SCOPE DOCUMENTS THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL THE WORK REQUIRED FOR FULL PERFORMANCE AND/OR COMPLETION OF ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS. ON THE BASIS OF THE GENERAL SCOPE DESCRIBED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL SUPERSEDE AND HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED IMMEDIATELY OF ANY VARIATIONS FROM THE DIMENSIONS SHOWN BY THESE DRAWINGS.

THE ARCHITECT/ENGINEERS RESPONSIBILITY EXTENDS ONLY AND SOLELY TO THE PREPARATION OF THESE DRAWINGS. THE ARCHITECT/ENGINEER ASSUMES NO RESPONSIBILITY FOR SUPERVISION OF ANY WORK NOR FOR ANY LIABILITY IN ERECTION, INSTALLATION, OR CONSTRUCTION DURING THE PERFORMANCE OF ANY WORK AS MAY BE REQUIRED BY THESE DRAWINGS AND SPECIFICATIONS.

THE ARCHITECT IS NOT RESPONSIBLE FOR THE FAILURE OF THE CONTRACTOR(S) TO EXECUTE NECESSARY WORK AND SUPPLY REQUIRED MATERIALS FOR PROPER COMPLETION OF THIS PROJECT, AND MAKES NOT WARRANTY SAID OR IMPLIED ON THESE CONSTRUCTION DOCUMENTS.

ALL CHANGES WITH REGARD TO THE SCOPE OF THESE DOCUMENTS SHALL BE FINALIZED WITH THE ARCHITECT AND OWNER AND COMMUNICATED IN WRITING TO THE CONTRACTOR(S). THE AGREEMENT BETWEEN THE ARCHITECT AND ANY OTHER PARTY INVOLVED WITH THIS STRUCTURE DOES NOT INCLUDE ON-SITE INSPECTIONS AND OBSERVATION, AND DUE TO THE FACT THAT THE ARCHITECT HAS COMPLETED ONLY WORKING DRAWINGS FOR THIS STRUCTURE, THE ARCHITECT CANNOT ASSUME RESPONSIBILITY FOR CONSTRUCTION, CONSTRUCTION METHODS, OR SAFETY PRECAUTIONS USED BY CONTRACTOR(S).

THE OWNER, BUILDER, AND CONTRACTORS SHALL INDEMNIFY AND HOLD HARMLESS THE ARCHITECT FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES ARISING OUT OF, OR RESULTING FROM THE PERFORMANCE OF THE WORK. ARCHITECT ASSUMES RESPONSIBILITY FOR HIS DRAWINGS AND THEIR CONTENTS ONLY.

CONTRACTOR SHALL VERIFY FIELD MEASUREMENTS OF EXISTING CONDITIONS AND REPORT TO ARCHITECT ANY DISCREPANCIES WITH THE CONSTRUCTION DOCUMENTS

SUMMARY OF WORK

THE STRUCTURE TO BE REMODELLED IS A BRICK 1 STORY, SINGLE FAMILY BUILDING. A SECOND FLOOR ADDITION WITH EXTENSION TO REAR OF PROPERTY IS BEING PROPOSED. CONVENTIONAL WOOD FRAME CONSTRUCTION IS TO BE UTILIZED FOR SECOND FLOOR WITH WALL AND FLOOR FINISHES AS INDICATED

MATERIALS

	EARTH		RIGID INSULATION
	GRAVEL		BATT INSULATION
	CONCRETE		GYPSUM BOARD
	ECONCRETE BLOCK		GLASS
	BRICK		ROUGH WOOD
	STEEL		FINISHED WOOD
	PLYWOOD		

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 PROJECT: 5236 S. LAWNDALE AVE. CHICAGO, ILLINOIS 60632
 DATE: 02/16/2009