

# 3124-3126 N. KEDZIE AVE. CHICAGO, IL 60618

## PROPOSED MIXED USE BUILDING

### PREPARED FOR: ROBIN CERNA

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PROJECT NAME:  
 3124-3126 N. KEDZIE AVE.  
 MIXED USE BUILDING

PROJECT ADDRESS:  
 3124-3126 N. KEDZIE AVE.  
 CHICAGO, ILLINOIS

SHEET TITLE:  
**COVER SHEET**

REVISIONS:

**PRELIMINARY, NOT FOR CONSTRUCTION**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of Illinois.

REGISTRATION NO. DATE:

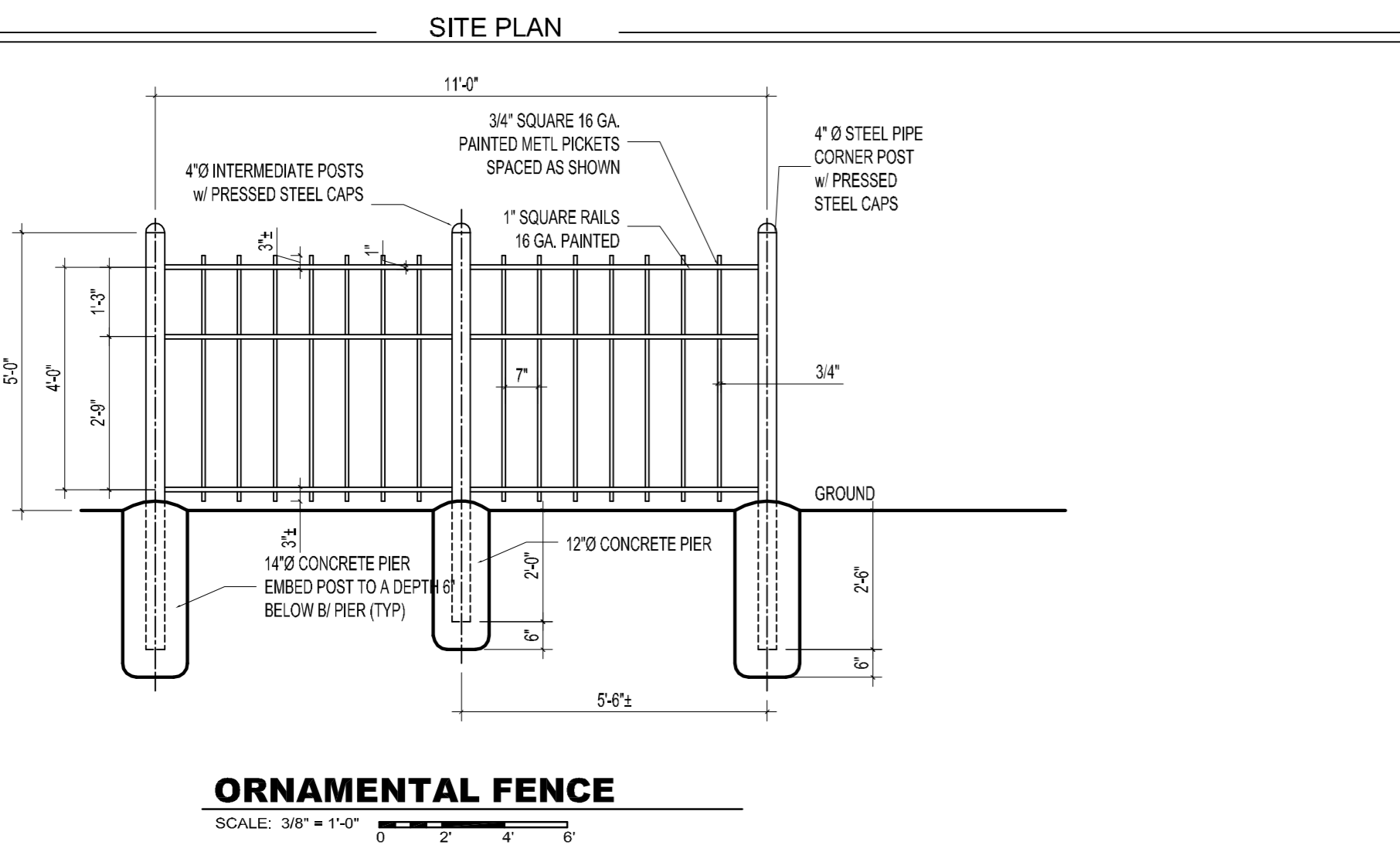
ISSUE FOR PERMIT:  
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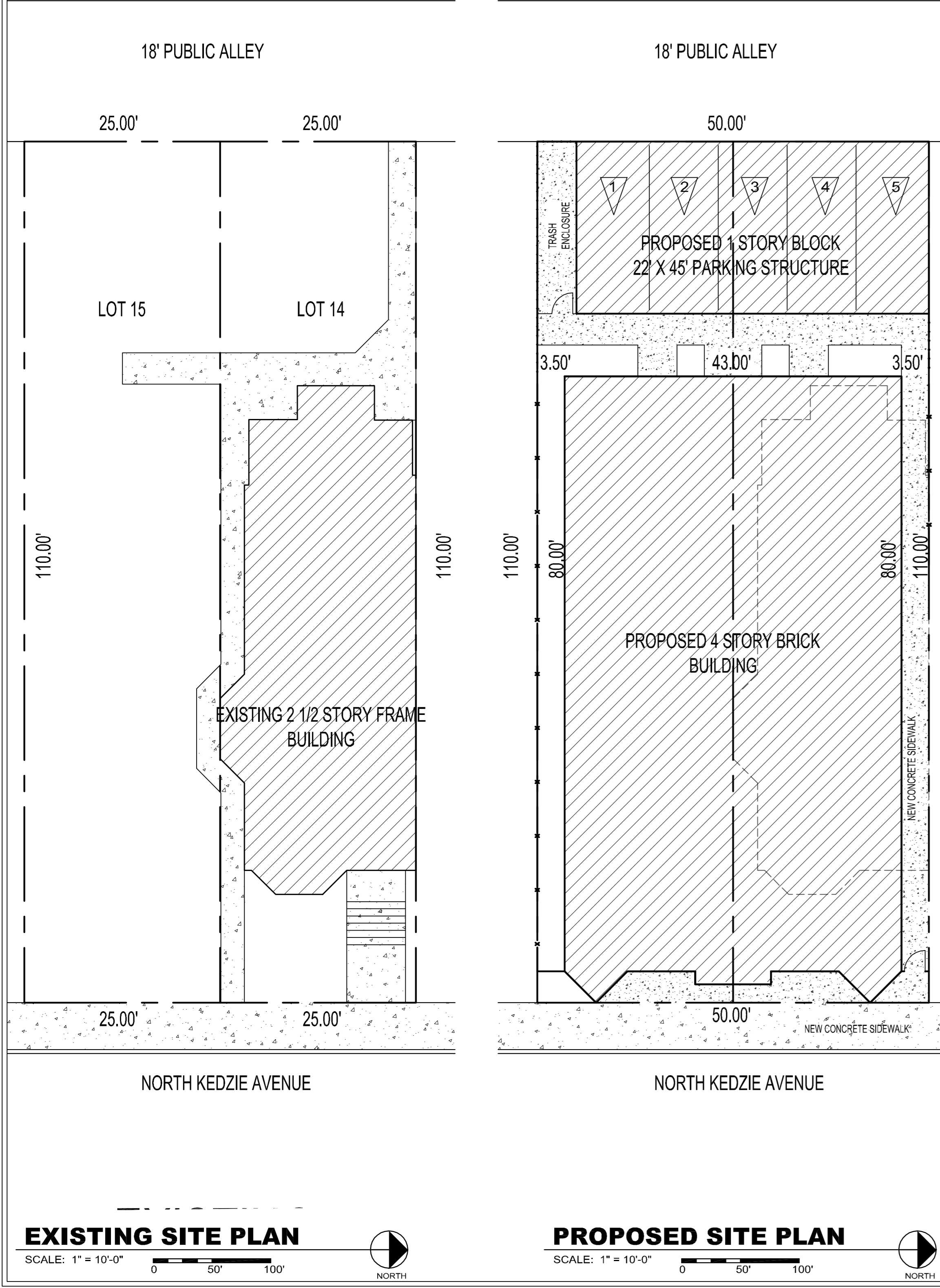
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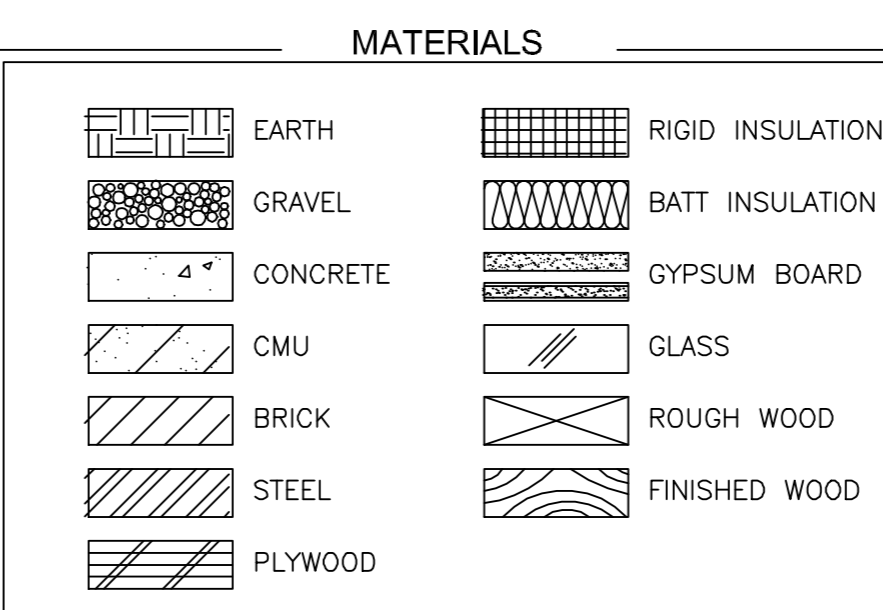
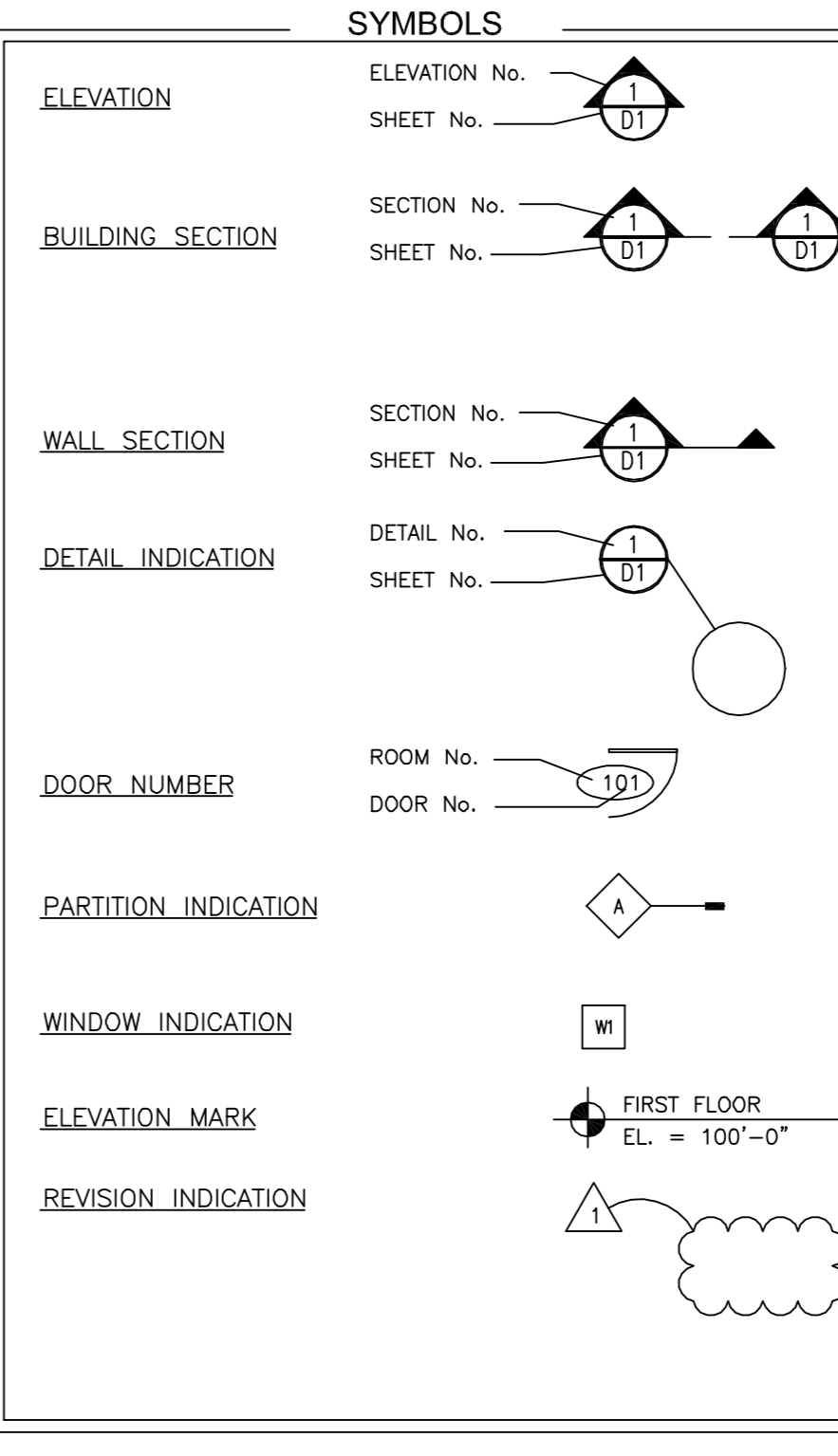
CODE DATA	
<b>CITY OF CHICAGO BUILDING AND ZONING INFORMATION:</b>	
<b>APPLICABLE CODES:</b>	City of Chicago Building Code
<b>USE GROUP</b>	MIXED USE
<b>CONSTRUCTION TYPE</b>	TYPE 3 B
	3 HR Exterior Bearing Walls
<b>INSULATION</b>	Must meet UL-723, ASTM E-84 UL FLAME SPREAD UL 25 - SMOKE DEV.50

BUILDING STATISTICS	
<b>TYPICAL SITE DATA:</b>	
LOT SIZE AND AREA: 50.0' X 110.0' = 5500 SQ. FT.	
BLDG. HEIGHT: 50'-0"	
BLDG. SIZE AND AREA: 43' x 80'	
BLDG. FOOTPRINT: IRREGULAR	
<b>AREAS PER FLOOR:</b>	
1ST FLOOR:	3310 SF
2ND FLOOR:	3310 SF
3RD FLOOR:	3310 SF
4TH FLOOR:	2160 SF
<b>MIXED USE BLDG.:</b>	
ZONING DISTRICT:	B3-2
FLOOR AREA RATIO (FAR) 2.2	
LOT AREA X 2.2 = ALLOWABLE BUILDING AREA 5,500 SQ. FT. X 2.2 = 12,100 SQ. FT.	
ACTUAL PROPOSED FLOOR AREA = 12,090 SF	
(3-HR. RTD. EXTR. WALLS) 4-STORY (2-HR. RATED STAIR ENCLOSURES)	
<b>UNITS SIZES:</b>	
COMMERCIAL SPACE #1:	1,320 SF
COMMERCIAL SPACE #2:	1,285 SF
TYPICAL RESIDENTIAL UNITS:	1,430 SF
FORTH FLOOR UNIT:	1,777 SF

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26.	WINDOW AND DOOR SCHEDULE, ROOM FINISH SCHEDULE



CITY OF CHICAGO CODE MATRIX								
ITEM	ISSUE	CHAPTER/ARTICLE	Ordinance Requirement	Actual Requirement	Requirement N/A	Sheet No.	Agency/Test No.	REMARKS
<b>PART 1 - ZONING REQUIREMENTS</b>								
1.01	Zoning District	C20 TITLE 17	B3-2	B3-2	-	-	-	-
1.02	Lot Area	-	-	5500	-	-	-	-
1.03	Maximum Floor Area Ratio	C20 7.6 - 5	2.2	2.2	-	-	-	-
1.04	Total Building Area	-	12,100	12,090	-	-	-	-
1.05	Building Height - No. of Floors	-	50'-0"	50'-0"	-	-	-	-
1.06	Minimum Yards	C20 7.7 - 5	-	-	-	-	-	-
1.07	Grade Elevation (COO)	C20 7.8 - 5	-	-	-	-	-	-
1.08	Off Street Loading	C20 7.9 - 5	-	-	-	-	-	-
1.09	Off Street Parking	-	5	5 SPACES	-	X	-	-
1.10	Landscaping	-	-	-	-	X	-	-
1.11	Townhouse Ordinance	-	-	-	-	X	-	-
<b>PART 2 - BUILDING REQUIREMENTS</b>								
2.01	Occupancy Classification	3(13-56) PAGE 115	----	-	-	-	-	-
2.02	Height and Area Limitations	5(13-48) PAGE 310	----	-	-	-	-	-
a)	Exceptions to Area Limitations	5(13-48-090) PAGE 308	----	-	-	-	-	-
b)	Mixed Occupancy Buildings	5(13-48-100) PAGE 326	----	-	X	-	-	-
2.03	Type of Construction	6(13-60) PAGE 313	TYPE III-B	-	-	-	-	-
2.04	Mixed Occupancy Separations	6(13-56-280) PAGE 118	-	-	X	-	-	-
2.05	Req. Hrs of Fire Resistance	6(13-60-100) PAGE 315	-	-	-	-	-	-
	Exterior Bearing Walls	TABLE 6(13-60-100)	3 HR	-	-	-	-	-
	Interior - Nonbearing Walls	TABLE 6(13-60-100)	2 HR	-	-	-	-	-
	Interior Bearing Walls	TABLE 6(13-60-100)	1 HR	-	-	-	-	-
	Interior - Nonbearing Walls	TABLE 6(13-60-100)	1/2 HR	-	-	-	-	-
	Columns	TABLE 6(13-60-100)	1 HR	-	X	-	-	-
	Columns Supporting Roofs Only	TABLE 6(13-60-100)	1/2 HR	-	X	-	-	-
	Beams	TABLE 6(13-60-100)	1 HR	-	X	-	-	-
	Beams Supporting Roofs Only	TABLE 6(13-60-100)	1/2 HR	-	X	-	-	-
	Floor Construction	TABLE 6(13-60-100)	1 HR	-	-	-	-	-
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2.06	Elevator Framing	6(13-60-130) PAGE 331	-	-	X	-	-	-
2.07	Mechanize Floors	6(13-60-160) PAGE 332	-	-	X	-	-	-
2.08	Basement Construction	6(13-60-170) PAGE 332	-	-	-	-	-	-
2.09	Driveways and Loading Spaces	6(13-60-210) PAGE 332	-	-	X	-	-	-
2.10	Fire - Resistive Requirements	7(15-8) PAGE 335	-	-	-	-	-	-
a)	Fire Wall Construction	7(15-8-010) PAGE 335	-	-	X	-	-	-
b)	Stairway Enclosures	7(15-8-100) PAGE 335&336	2 HR	-	-	-	-	-
c)	Elevator Enclosures	7(15-8-140) PAGE 337	-	-	X	-	-	-
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3)	Corridor Door Frames	7(15-8-240) PAGE 339	-	-	-	-	-	-
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c)	Fire Extinguishers	9(16-16) PAGE 361	-	-	X	-	-	-
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3.02	Minimum Number of Exits	10(13-160-050) PAGE 388	COMPLY	-	-	-	-	-
3.03	Travel Distance to Exits	10(13-160-110) PAGE 389	COMPLY	-	-	-	-	-
a)	Increases Permitted	10(13-160-150) PAGE 390	COMPLY	-	-	-	-	-
b)	Dead End Corridor	10(13-160-160) PAGE 390	COMPLY	-	-	-	-	-
3.04	Capacity of Exits	10(13-160-210) PAGE 390	COMPLY	-	-	-	-	-
3.05	Minimum Width of Exits	10(13-160-220) PAGE 390	COMPLY	-	-	-	-	-
3.06	Swing of Exit Doors	10(13-160-250) PAGE 391	COMPLY	-	-	-	-	-
3.07	Hardware	10(13-160-260) PAGE 392	KEYLESS	-	-	-	-	-
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3.13	Headroom	10(13-160-350) PAGE 394	COMPLY	-	-	-	-	-



**CONTRACTOR'S NOTE:**

These drawings are scope documents indicating the general project design concept, dimensions of the project, major architectural elements, and basic organization of structural and mechanical, electrical and plumbing systems. As scope documents, these drawings do not necessarily describe or indicate all materials or work required for full performance and completion of the project. On the basis of the general scope indicated or described, the contractor(s) shall furnish all items required for proper execution and completion of the proposed project. The Architect is not responsible for the failure of the contractor(s) to execute necessary work and supply required materials for proper completion of this project, and makes no warranty said or implied on these construction documents. All changes with regard to the scope of these documents shall be finalized with the Architect and Owner and communicated in writing to the contractor(s).

The agreement between the Architect and any other party involved with this structure does not include on-site inspections and observation, and due to the fact that the Architect has completed only working drawings for this structure, the Architect cannot assume responsibility for construction, construction methods, or safety precautions used by contractor(s).

**PROFESSIONALS STATEMENT OF COMPLIANCE:**

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH ALL PROVISIONS AS SET FORTH BY THE CITY OF CHICAGO BUILDING CODE.

ARCHITECTS - SIGNATURE: DATE:

**PROFESSIONALS STATEMENT OF COMPLIANCE:**

I HAVE PREPARED OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS, AND STATE THAT, "TO THE BEST OF MY KNOWLEDGE AND BELIEF AND TO THE EXTENT OF MY CONTRACTUAL OBLIGATION, THEY COMPLY WITH THE ENVIRONMENTAL BARRIERS ACT (410 ILCS 25) AND THE ILLINOIS ACCESSIBILITY CODE (97 IL ADM CODE 400)

ARCHITECTS - SIGNATURE: DATE:

**PROFESSIONALS STATEMENT OF COMPLIANCE:**

I CERTIFY THAT I AM THE REGISTERED DESIGN PROFESSIONAL FOR THIS PROJECT. I ALSO CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE ATTACHED PLANS FULLY COMPLY WITH THE REQUIREMENTS OF CHAPTER 18-13 ENERGY CONSERVATION OF THE MUNICIPAL CODE OF CHICAGO EXCEPT 18-13-303.

ARCHITECTS - SIGNATURE: SELF CERTIFICATION: DATE: EXPIRATION: