

# Correction of Building Code Violations

2551 S. Harding Ave and 3924 W. 26th St,  
Chicago, IL 60623

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## SYMBOLS

	ELEVATION TAG TOP - ELEVATION NUMBER BOTTOM - SHEET NUMBER		DOOR TAG NUMBER DENOTES DOOR, REFERENCE TO DOOR SCHEDULE
			ELEVATION BENCHMARK
	DETAIL TAG TOP - DETAIL NUMBER BOTTOM - SHEET NUMBER		WALL TYPE TAG
			REVISION INDICATION
	SECTION TAG TOP - SECTION NUMBER BOTTOM - SHEET NUMBER		NORTH INDICATION
			ROOM TAG - ROOM NAME - FLOOR FINISH - ROOM NUMBER

## PROJECT CONTACTS

CLIENT/ OWNER
Leo Gonzalez 2551 S. Harding Ave Chicago, IL 60623
BUILDING DEPARTMENT
City of Chicago Department of Buildings 121 N. LaSalle Chicago, IL

## CODE INFORMATION

1. CITY OF CHICAGO BUILDING CODE
----------------------------------

## SUMMARY OF WORK

- ADDRESS ALL ITEMS PER VIOLATION LETTER
- DEMOLITION OF EXISTING NON-CONFORMING, REAR WOOD PORCH.
- HAUL AWAY ALL DEBRIS FROM LOCATION.
- REBUILD NEW WOOD PORCH AS PER THESE DRAWINGS.

## GENERAL NOTES

THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE ARCHITECTURAL DESIGN CONCEPT. AS SCOPE DOCUMENTS THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL THE WORK REQUIRED FOR FULL PERFORMANCE AND/OR COMPLETION OF ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS. ON THE BASIS OF THE GENERAL SCOPE DESCRIBED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL SUPERSEDE AND HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED IMMEDIATELY OF ANY VARIATIONS FROM THE DIMENSIONS SHOWN BY THESE DRAWINGS.

THE ARCHITECT/ENGINEERS RESPONSIBILITY EXTENDS ONLY AND SOLELY TO THE PREPARATION OF THESE DRAWINGS. THE ARCHITECT/ENGINEER ASSUMES NO RESPONSIBILITY FOR SUPERVISION OF ANY WORK NOR FOR ANY LIABILITY IN ERECTION, INSTALLATION, OR CONSTRUCTION DURING THE PERFORMANCE OF ANY WORK AS MAY BE REQUIRED BY THESE DRAWINGS AND SPECIFICATIONS.

THE ARCHITECT IS NOT RESPONSIBLE FOR THE FAILURE OF THE CONTRACTOR(S) TO EXECUTE NECESSARY WORK AND SUPPLY REQUIRED MATERIALS FOR PROPER COMPLETION OF THIS PROJECT, AND MAKES NOT WARRANTY SAID OR IMPLIED ON THESE CONSTRUCTION DOCUMENTS.

ALL CHANGES WITH REGARD TO THE SCOPE OF THESE DOCUMENTS SHALL BE FINALIZED WITH THE ARCHITECT AND OWNER AND COMMUNICATED IN WRITING TO THE CONTRACTOR(S). THE AGREEMENT BETWEEN THE ARCHITECT AND ANY OTHER PARTY INVOLVED WITH THIS STRUCTURE DOES NOT INCLUDE ON-SITE INSPECTIONS AND OBSERVATION, AND DUE TO THE FACT THAT THE ARCHITECT HAS COMPLETED ONLY WORKING DRAWINGS FOR THIS STRUCTURE, THE ARCHITECT CANNOT ASSUME RESPONSIBILITY FOR CONSTRUCTION, CONSTRUCTION METHODS, OR SAFETY PRECAUTIONS USED BY CONTRACTOR(S).

THE OWNER, BUILDER, AND CONTRACTORS SHALL INDEMNIFY AND HOLD HARMLESS THE ARCHITECT FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES ARISING OUT OF, OR RESULTING FROM THE PERFORMANCE OF THE WORK. ARCHITECT ASSUMES RESPONSIBILITY FOR HIS DRAWINGS AND THEIR CONTENTS ONLY.

CONTRACTOR SHALL VERIFY FIELD MEASUREMENTS OF EXISTING CONDITIONS AND REPORT TO ARCHITECT ANY DISCREPANCIES WITH THE CONSTRUCTION DOCUMENTS

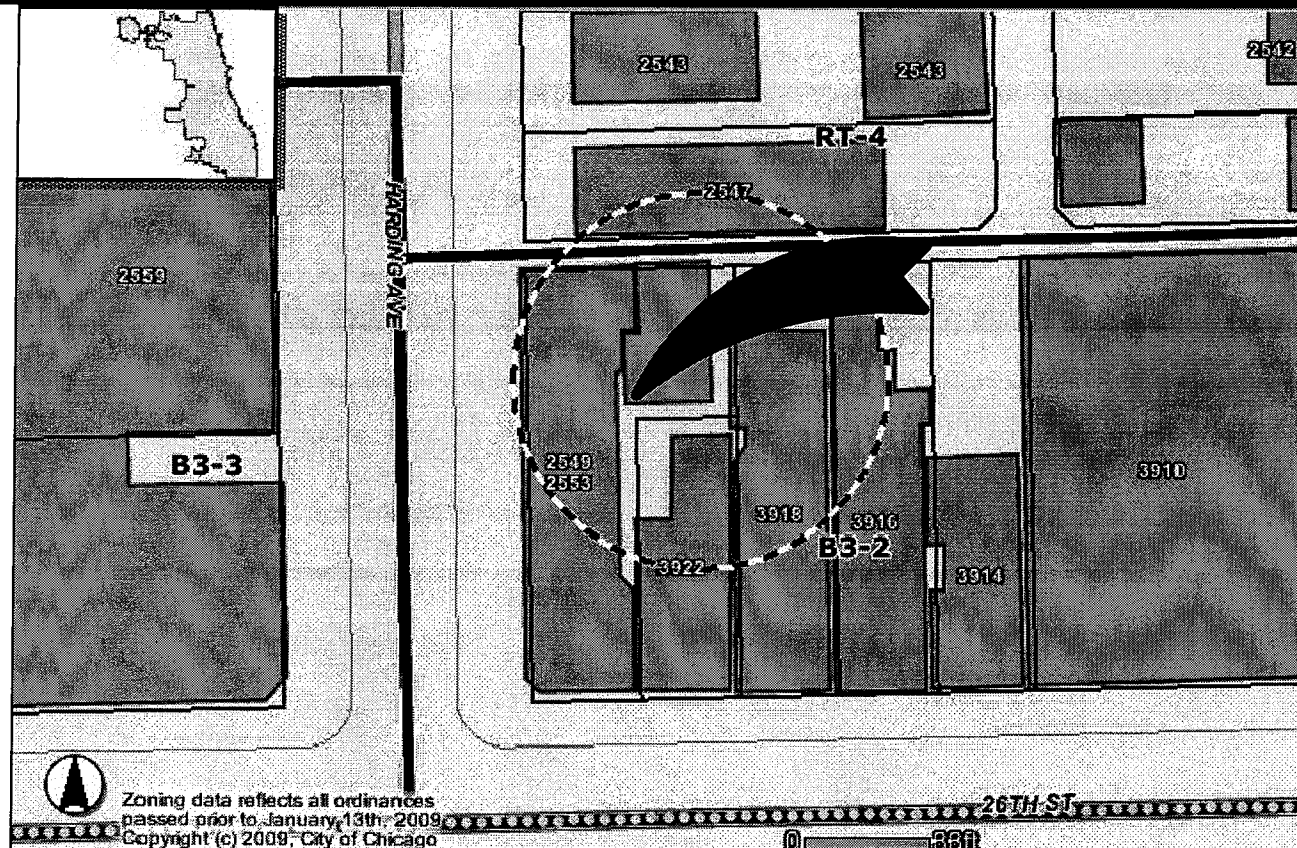
## STATEMENT

I HAVE PREPARED OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED DRAWINGS AND SPECIFICATIONS, AND STATE THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH THE ZONING AND BUILDING CODES OF THE CITY OF CHICAGO AND THE ACCESSIBILITY STANDARDS OF THE STATE OF ILLINOIS

seal:  
exp. 11/30/2010

DATE:

## ZONING MAP



Zoning data reflects all ordinances passed prior to January 13th, 2009. Copyright (c) 2009, City of Chicago



419-C Harrison Street  
Oak Park, IL 60304  
tel: (708) 948-7332  
fax: (708) 575-3004  
@: us@kbpartnership.com

PROJECT NAME:  
BUILDING VIOLATIONS  
PROJECT ADDRESS:  
2551 S. Harding Ave.  
3924 W. 26th St,  
Chicago, IL 60623

SHEET TITLE:  
COVER SHEET

REVISIONS:

ISSUED FOR PERMIT:  
03-10-2009

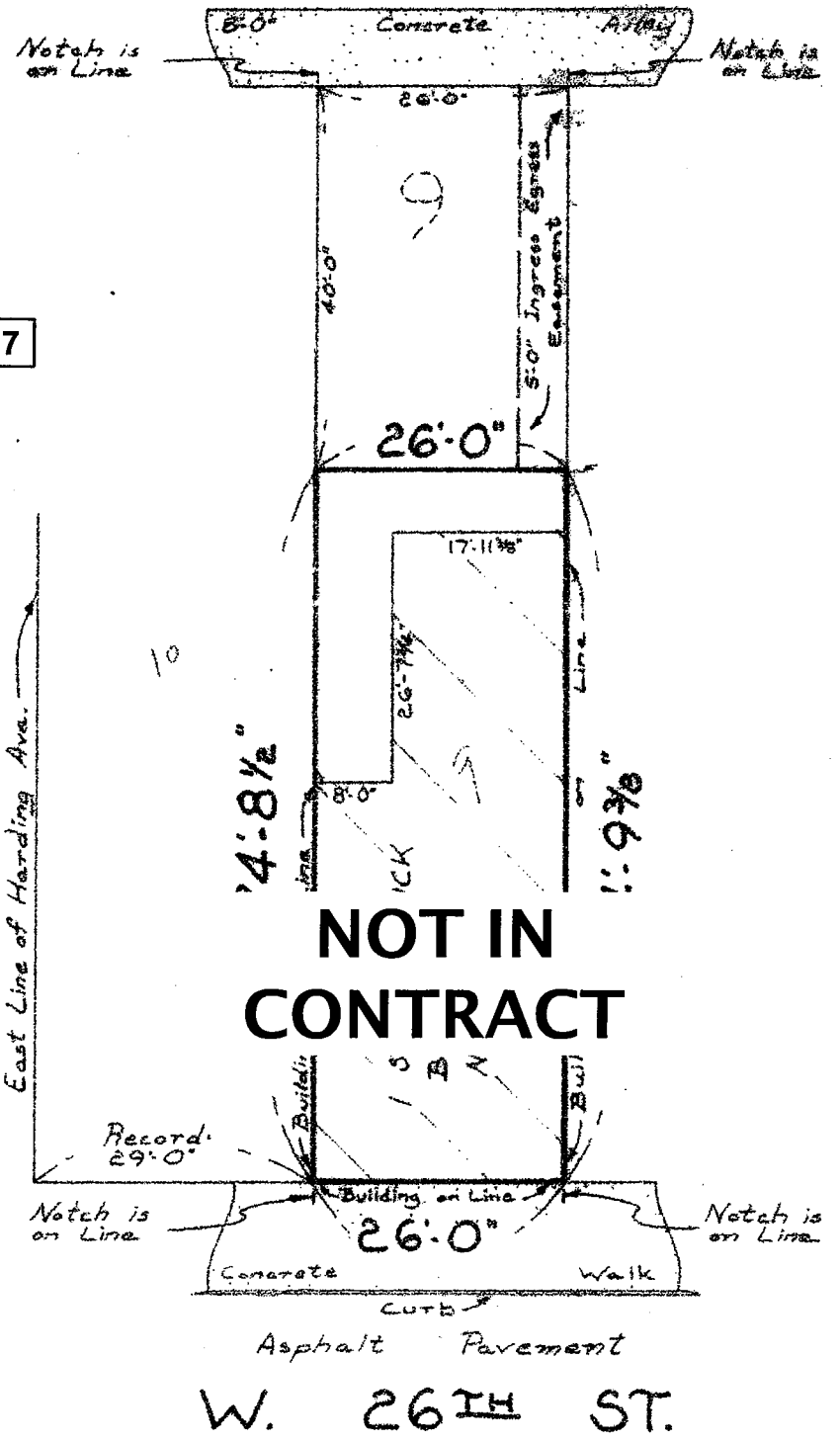
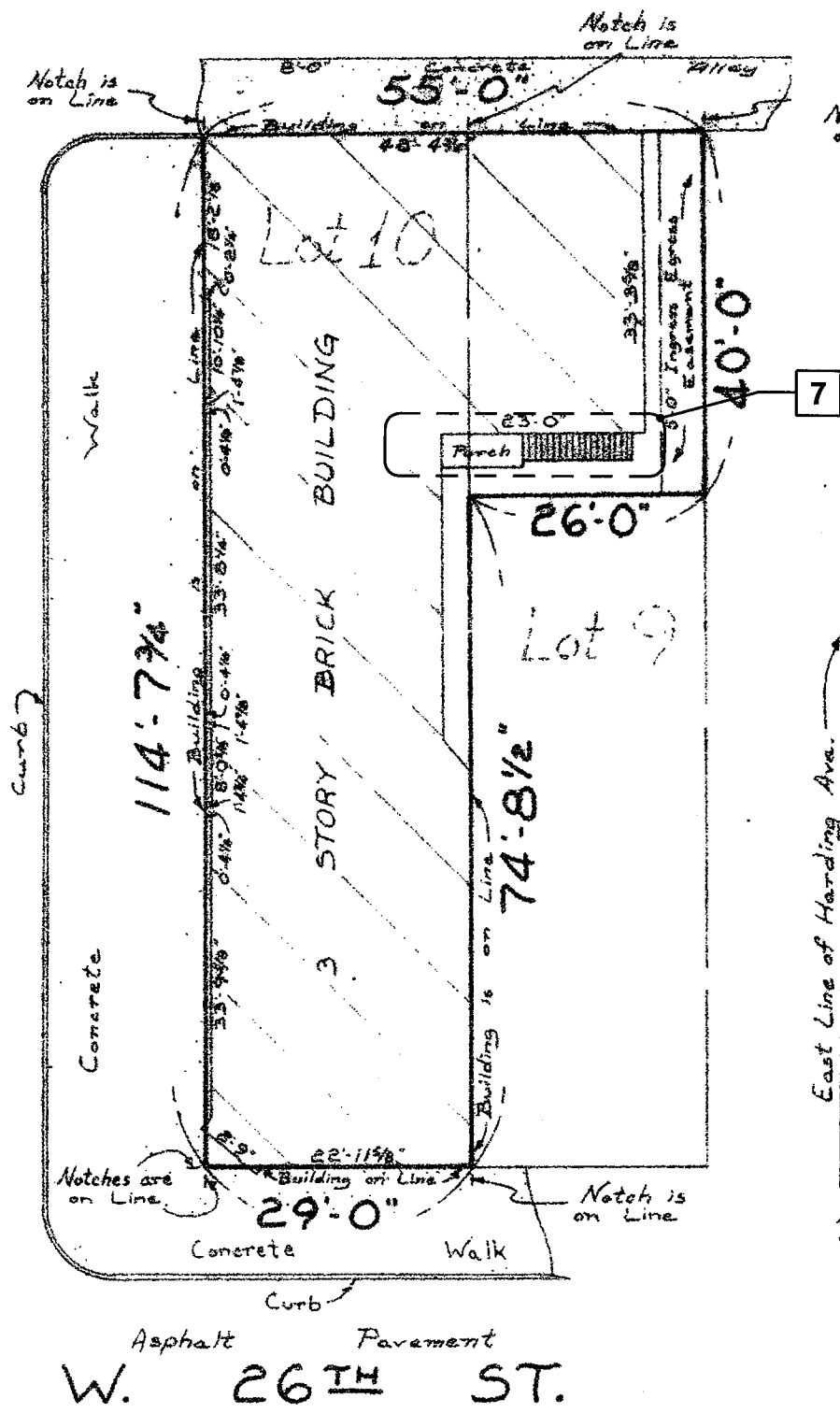
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SHEET NUMBER:

C

2551 S. HARDING AVE.  
S. HARDING AVE.



**NOT IN CONTRACT**

REF# GENERAL NOTES:

- |     |   |
|-----|---|
| 1   | ALL WINDOW PANES TO BE RETRIMMED OR REPUTTIED AS NECESSARY          |
| 2   | REPAIR PEELING PAINT, INTERIOR FRAMES AND WEST WALL EXTERIOR        |
| 3   | REPAIR OR REPLACE ROTTED WINDOW FRAMES                              |
| 4   | REMOVE CONDITIONS CONDUCTIVE TO PIGEONS HOUSING AND CLEAN ALL AREAS |
| 5   | REPAIR OR INSTAL EXIT SIGNS FOR ADEQUATE ILLUMINATION               |
| 6 8 | OWNER TO ARRANGE FOR REINSPECTION OF PREMISES                       |
| 7   | REMOVE AND REPLACE EXISTING PORCH PER ATTACHED PLANS                |



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SHEET TITLE:  
CODE VIOLATION ISSUES

REVISIONS:

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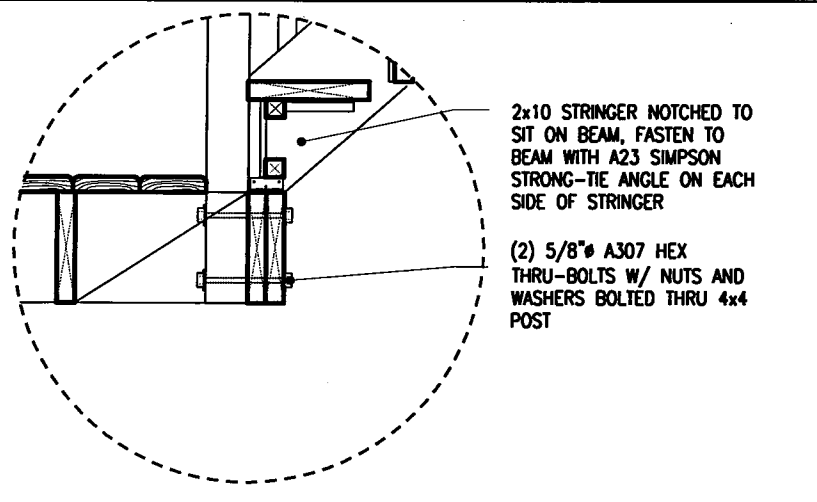
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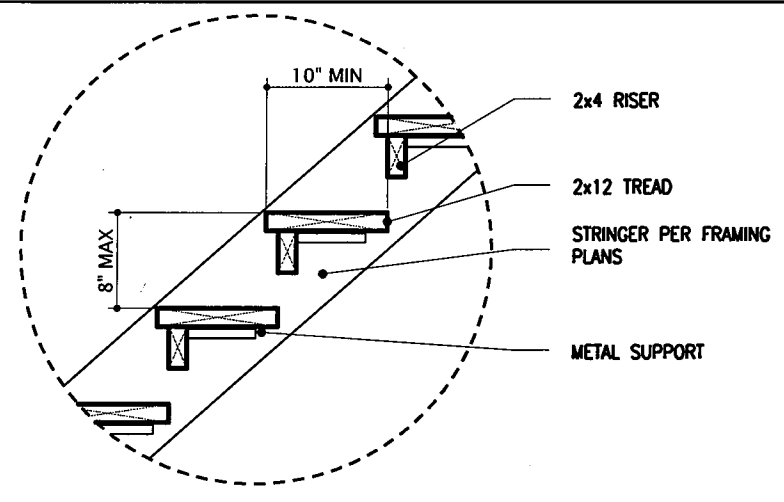
SHEET NUMBER:  
**A.2**



2x10 STRINGER NOTCHED TO SIT ON BEAM, FASTEN TO BEAM WITH A23 SIMPSON STRONG-TIE ANGLE ON EACH SIDE OF STRINGER

(2) 5/8" A307 HEX THRU-BOLTS W/ NUTS AND WASHERS BOLTED THRU 4x4 POST

STAIR DETAIL "A" Scale: NTS 1



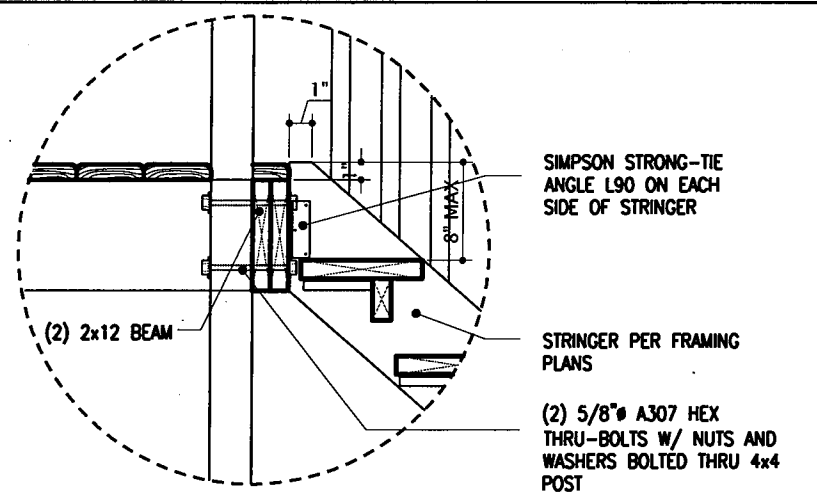
2x4 RISER

2x12 TREAD

STRINGER PER FRAMING PLANS

METAL SUPPORT

STAIR DETAIL "B" Scale: NTS 2

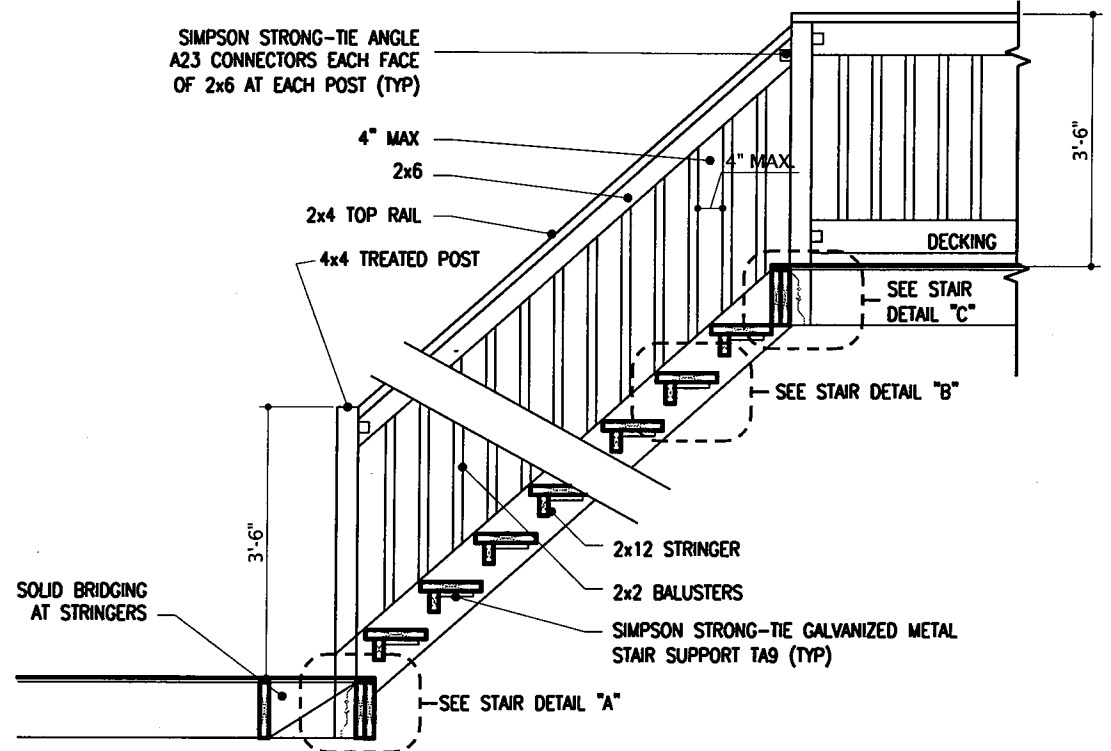


SIMPSON STRONG-TIE ANGLE L90 ON EACH SIDE OF STRINGER

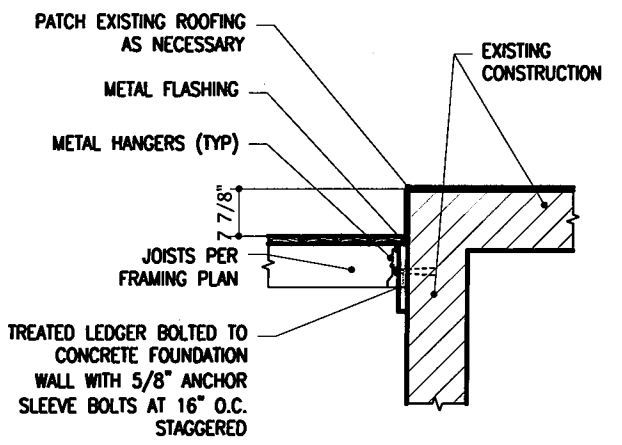
STRINGER PER FRAMING PLANS

(2) 5/8" A307 HEX THRU-BOLTS W/ NUTS AND WASHERS BOLTED THRU 4x4 POST

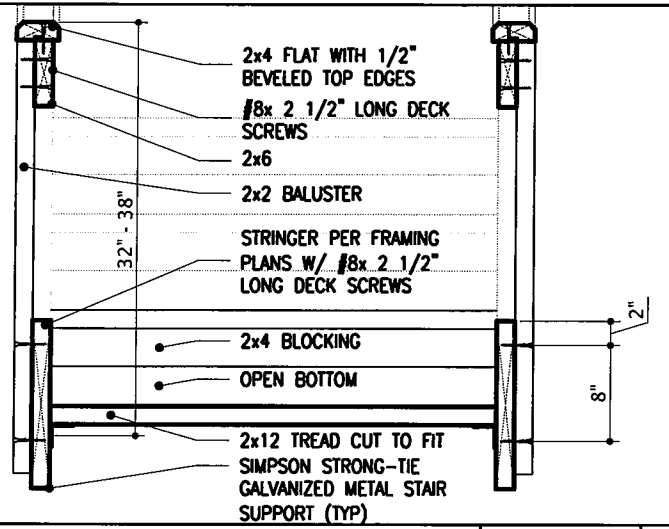
STAIR DETAIL "C" Scale: NTS 3



TYPICAL STAIR SECTION Scale: NTS 4



LEDGER DETAIL Scale: NTS 5



STAIR SECTION Scale: NTS 6

**NOTES:**

**SIZING OF FOOTINGS:**

1. 1 STORY PORCHES	1'-6" x 1'-6" x 1'-0"
2. 2 STORY PORCHES	2'-0" x 2'-0" x 1'-0"
3. 3 STORY PORCHES	2'-3" x 2'-3" x 1'-0"

**GENERAL PORCH NOTES:**

- ALL MATERIALS SHALL BE WOLMANIZED OR TREATED WOOD
- ALL FASTENERS SHALL BE MADE OF GALVANIZED MATERIALS
- ALL DECK SCREWS SHALL BE CERAMIC COATED
- ALL DECK BOARDS SHALL BE PLACED AS SHOWN
- CAULK ALL JOINTS AND STAIN W/ 2 COATS STAIN EXCEPT TOP OF DECK BOARDS WHICH SHALL HAVE 2 COATS (THOMPSONS) WATER SEAL
- UNDER ENTIRE DECK REMOVE ORGANIC MTL.TREAT W/ INSECT REPEL THEN COVER W/ WEED BARRIER & 2 1/2" CLEAN PEA GRAVEL (TYP.) (NOT LIMESTONE)

PORCH NOTES Scale: NTS 7

Item	SST Model	USP Model	Gage	Installation Hardware
Single Joist Hanger - 1	LUS210 Z or SS	JUS210TZ,SS	18	4-10d (Joist), 8-10d (header)
Double Joist Hanger - 2	LUS210-2 Z or SS	JUS210-2TZ,SS	18	8-18d (Joist), 8-18d (header)
Single Joist Hanger - 3	LUS28 Z or SS	JUS28TZ, SS	14	4-10d (Joist), 8-10d (Header)
Double Joist Hanger - 4	LB28-2 Z	JUS28-2TZ	14	4-18d (Joist), 8-18d (Header)
Metal Angle - 1	L90 Z	AC9 TZ	16	10-10d, 5 each leg
Metal Angle - 2	A23 Z	A3 TZ	18	*8-10d x 1-1/2", 4 each leg
Metal Angle - 3	TA9 Z or KT	SCA9 TZ	12	5-1/4" dia x 1-1/2" wood screw
Column Base 6x6 post	CBSQ66-SDS2 HGD	CBSQ66-SDS2 TZ	12,14	14-1/4" dia x 2" wood screws
Post Base, Railing post	PBS44A	WAS 44 TZ	12,14	14-16d, 2-1/2" dia bolts
Metal Strap	MSTA12	MSTA12 TZ, SS	18	10-10d
Post Base Plate	CPS 4	CPB44		4-10d

\*NOTE: Use smaller length nails with specified penny weight. SST—Simpson Strong Tie; USP—United Steel Products HDG—Hot Dipped Galvanized, SS—Stainless Steel Z—Z MAX Galvanized (G-185), TZ—Triple Zinc Galvanized (G-185) Reference: City of Chicago Guide to Porch and Deck Design and Construction

CONNECTOR SCHEDULE Scale: NTS 8



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PROJECT ADDRESS:  
2551 S. Harding Ave.  
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Chicago, IL 60623

SHEET TITLE:  
PORCH DETAILS

REVISIONS:

ISSUED FOR PERMIT:  
03-10-2009

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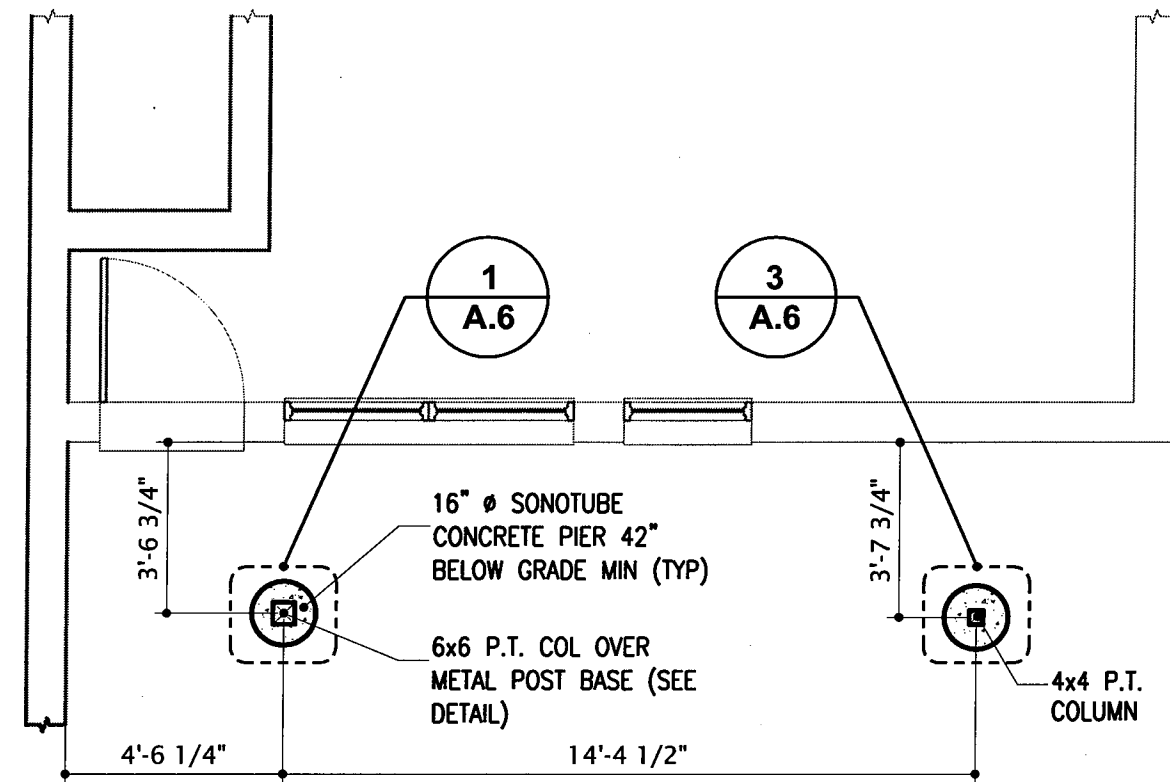
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SHEET NUMBER:

A.7

**GENERAL NOTES:**

1. CONTRACTOR TO VERIFY EXISTING DIMENSIONS W/ THOSE SHOWN ON PLANS AND REPORT TO ARCHITECT OF ANY DISCREPANCIES PRIOR TO WORK COMMENCEMENT.
2. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO ORDERING ANY MATERIAL.
3. GENERAL CONTRACTOR SHALL CALL FOR INSPECTIONS BY CITY INSPECTORS AS NEEDED.
4. ARCHITECT SHALL NOT BE RESPONSIBLE FOR DAMAGE TO, OR CONDITIONS OF EXISTING BUILDING ONCE CONSTRUCTION BEGINS.
5. REMOVE PORCH STRUCTURE AS INDICATED. VERIFY LOCATION OF ANY BEARING ELEMENTS PRIOR TO REMOVAL.



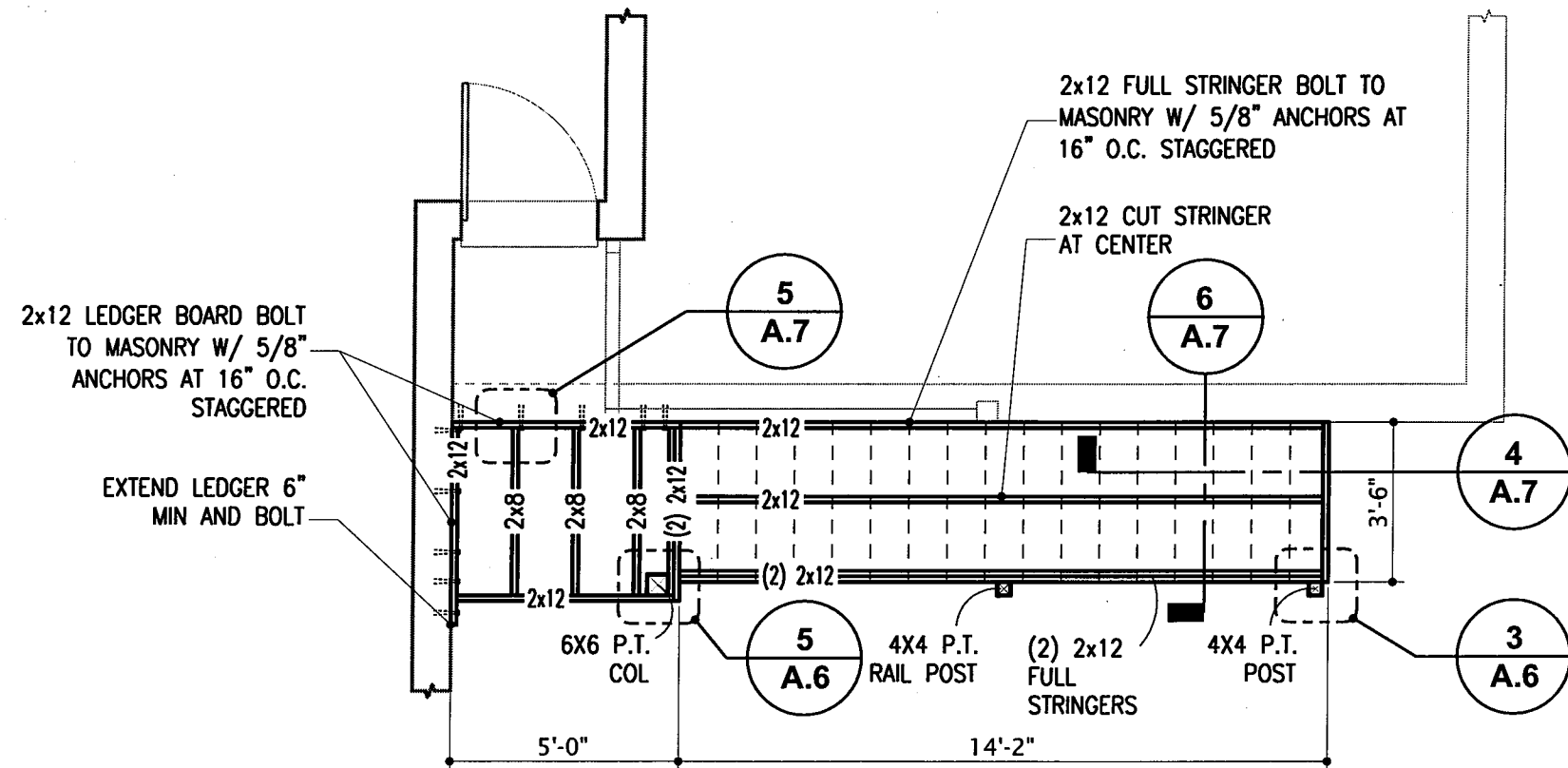
**NEW PORCH FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"



**FRAMING NOTES:**

1. PORCH TO BE CONSTRUCTED PER CITY OF CHICAGO CODES.
2. 100# PER SQUARE FOOT LIVE LOAD CAPACITY.
3. CONTRACTOR TO VERIFY EXISTING DIMENSIONS W/ THOSE SHOWN ON PLANS AND REPORT TO ARCHITECT OF ANY DISCREPANCIES.
4. MINIMUM GRADE LUMBER SPF#2.
5. ALL WOOD TO BE (P.T.) PRESSURE TREATED LUMBER.
6. ALL REQUIRED CONNECTORS TO HAVE A G185 COATING (GALVANIZED COATING OF AT LEAST 1.85 OUNCES PER SQUARE FOOT)
7. PROVIDE JOIST HANGER AT EACH JOIST (TYP)
8. ALL LEDGERS MUST BE TIGHT TO THE FACE OF THE BUILDING



**NEW PORCH FRAMING PLAN**

SCALE: 1/4" = 1'-0"





**City of Chicago**  
**Department of Buildings**  
 Richard Monocchio, Commissioner  
 120 North Racine Avenue  
 Chicago, IL 60607

LEONEL GONZALEZ  
 3924 W 26TH ST  
 CHICAGO IL 60623

Hansen Case ID: 197677

Address:  
 2549 - 2553 S HARDING AVE CHICAGO IL 60623-  
 2549 S HARDING AVE CHICAGO IL 60623-  
 3924 - 3924 W 26TH ST CHICAGO IL 60623-

**Building Code Violations - Court Action**

Date of Notice 02/11/2009

Inspection Number 1424671

Date of Inspection	Inspected By	Supervisor ID	Supervisor Phone	Recommendation	CA	Bureau
11/5/2008	BL01037	BL00673	(312)743-1000	COURT	30	CONSERVATION

YOU ARE HEREBY NOTIFIED THAT THE DEPARTMENT OF BUILDINGS HAS CITED THE ABOVE PROPERTY FOR ALLEGED VIOLATION(S) OF THE CHICAGO MUNICIPAL CODE. THE ALLEGED VIOLATIONS COULD BE SERIOUS AND THEREFORE MUST BE IMMEDIATELY CORRECTED.

THE DEPARTMENT CONSIDERS SUCH ALLEGED VIOLATIONS AS CONTINUING ON EACH SUCCEEDING DAY AFTER THE INSPECTION DATE, UNTIL EVIDENCE HAS BEEN BROUGHT TO THE DEPARTMENT SHOWING THAT SUCH VIOLATIONS HAVE BEEN PROPERLY CORRECTED, PURSUANT TO SATISFACTORY PLANS AND PERMITS, WHEN APPLICABLE.

COURT ACTION IS BEING TAKEN AGAINST YOU.

IF YOU HAVE ANY QUESTIONS REGARDING THESE VIOLATIONS, PLEASE FEEL FREE TO CALL THE AREA SUPERVISOR BETWEEN 9:30 AM AND 11:30 AM, AT THE PHONE NUMBER LISTED ABOVE.

- 1 **CN104055**  
Failed to retrim or reputy window panes. (13-196-550)  
Reputy all windows.
- 2 **CN061034**  
Failed to maintain all interior walls, ceilings and interior woodwork free of flaking, peeling, chipped or loose paint, plaster or structural material. (13-196-540(d), 13-196-641)  
All frames peeling paint, exterior wall west peeling.
- 3 **CN104035**  
Failed to maintain windows in sound condition and good repair. (13-196-550(b) and (f))  
Most frames rotted.
- 4 **CN140056**  
Stop unsanitary and offensive condition caused by poultry. (13-196-620 A, 13-196-630 B)  
Rigeons housing all elevations.

- 5 **CN107015**  
Failed to provide and maintain adequate illumination for public hall and stairwell. (13-196-080, 13-196-450, 13-160-660, 13-160-670)  
1st floor mercantile missing exit sign.
- 6 **CN190019**  
Arrange for inspection of premises. (13-12-100)  
No entry to rear gate padlocked or interior 2nd and 3rd floor.
- 7 **CN070034**  
Failed to rebuild or replace dilapidated and dangerous porch. (13-196-570, 13-196-641)  
rear porch dangerous and hazardous stringer rotted stairs rotted, post rotted missing joist hangers, missing ledger bolts, improper foundation under posts. plans and permits required for porch repairs
- 8 **CN190019**  
Arrange for inspection of premises. (13-12-100)  
unable to inspect interior of building unable to verify building conditions detectors, and stairways. owner had inspector leave premises before inspection was done

**End of Violations**

\*\*\* SMOKE DETECTORS ARE REQUIRED BY LAW IN ALL DWELLING UNITS. THEY ARE A MATTER OF LIFE AND DEATH.  
 FAILURE TO INSTALL WILL RESULT IN SERIOUS PENALTIES. \*\*\*

When applying for a permit, bring this notice with you to the Department of Construction and Permits ("DCAP"), located at City Hall, 9th Floor, 121 North LaSalle Street. You may be eligible to obtain a permit from one of DCAP's satellite offices, use the permit wizard located on the department website for DCAP at the link [www.cityofchicago.org](http://www.cityofchicago.org). Contact DCAP for information regarding obtaining a permit.



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 Chicago, IL 60623

SHEET TITLE:  
 VIOLATION LETTER

REVISIONS:

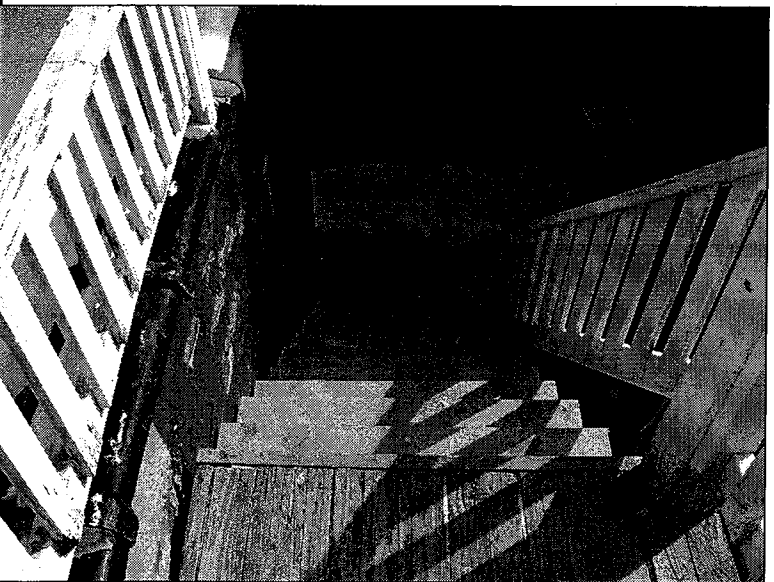
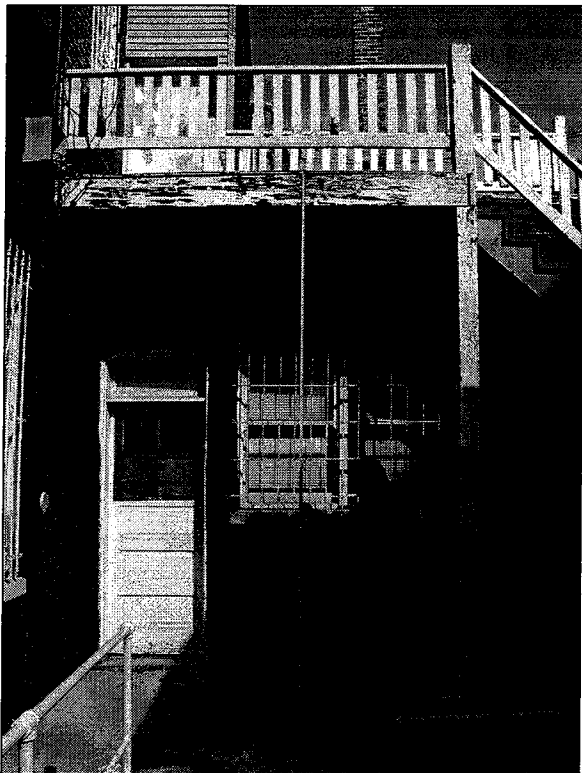
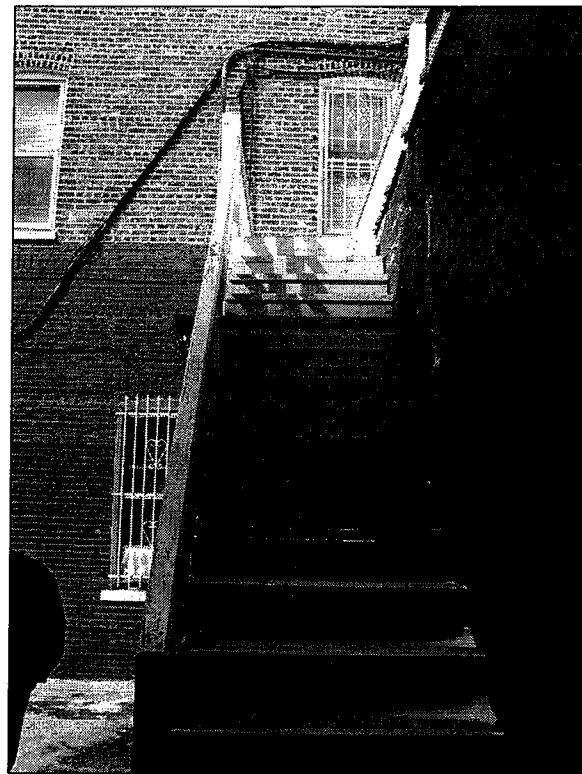
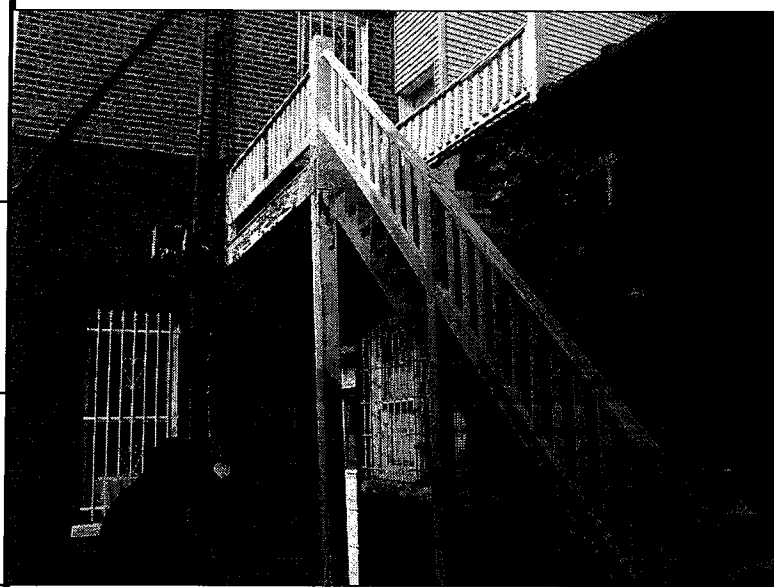
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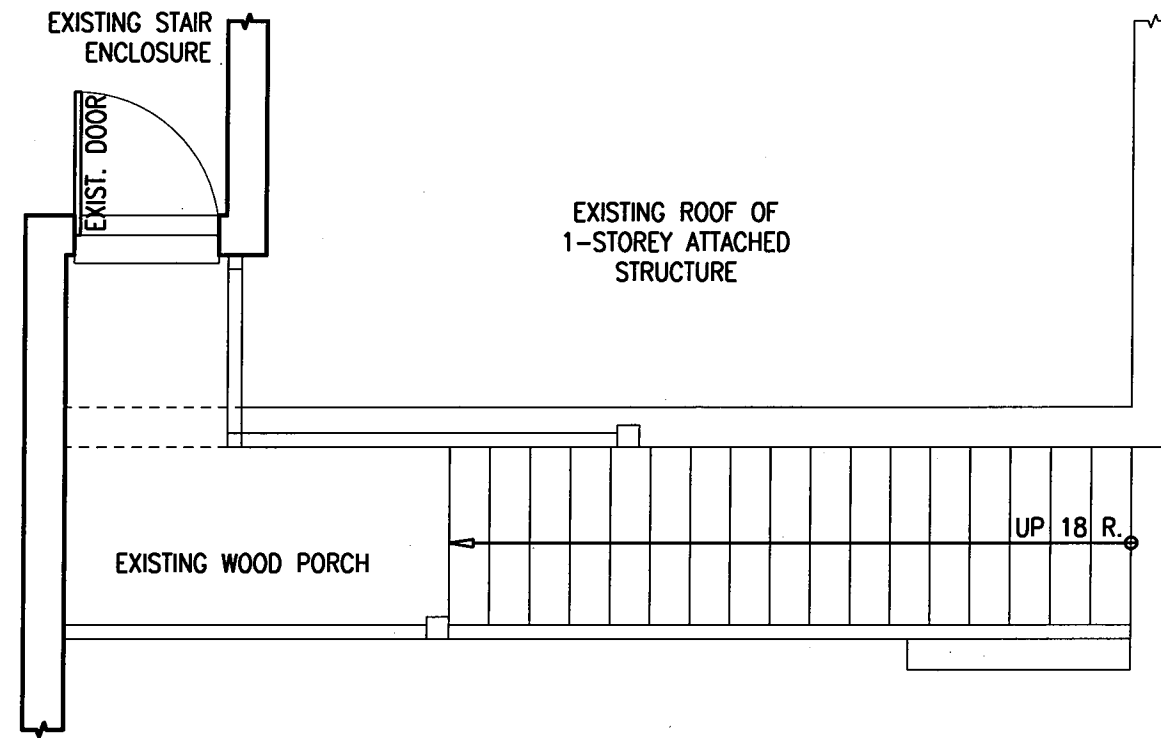
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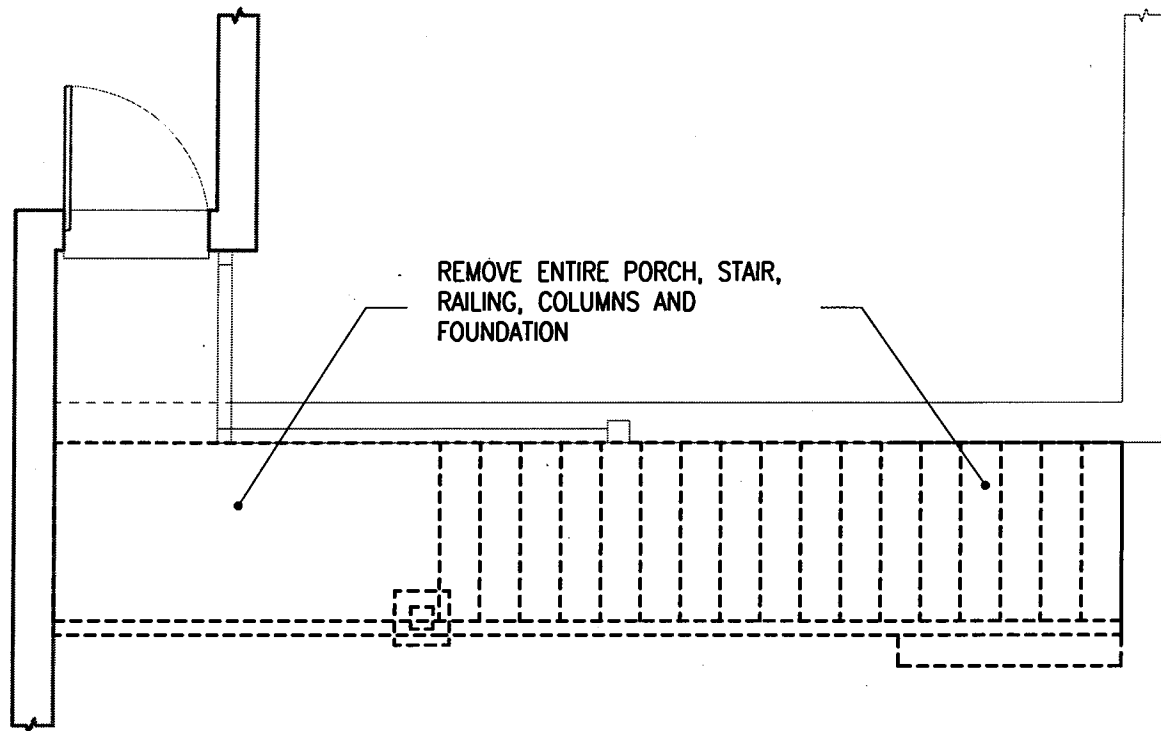
**A.1**



**EXISTING CONDITIONS**  
SCALE: NTS



**EXISTING PORCH PLAN**  
SCALE: 1/4" = 1'-0"



**PORCH DEMO PLAN**  
SCALE: 1/4" = 1'-0"



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**SHEET TITLE:**  
EXISTING &  
DEMOLITION PORCH  
PLANS,  
PHOTOGRAPHS

**REVISIONS:**

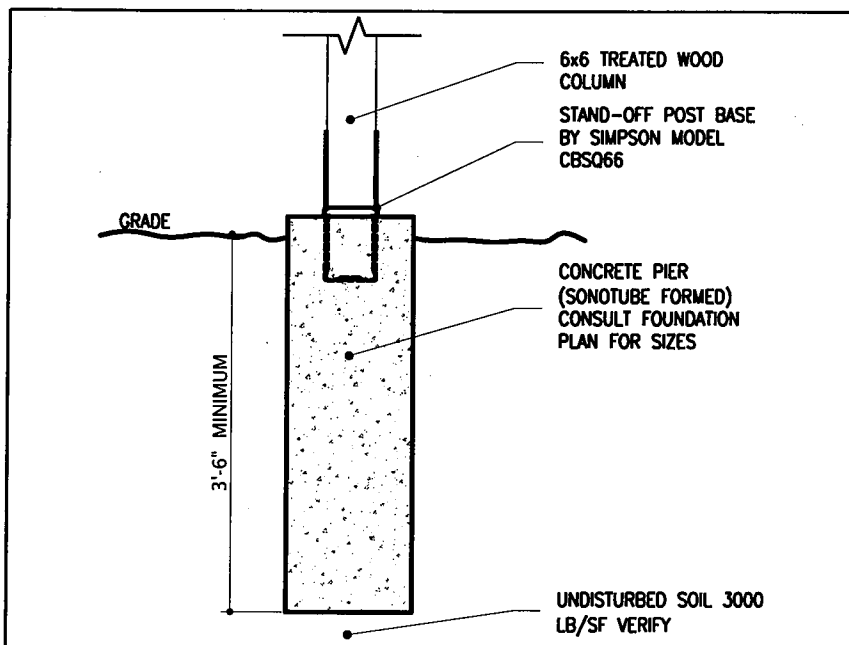
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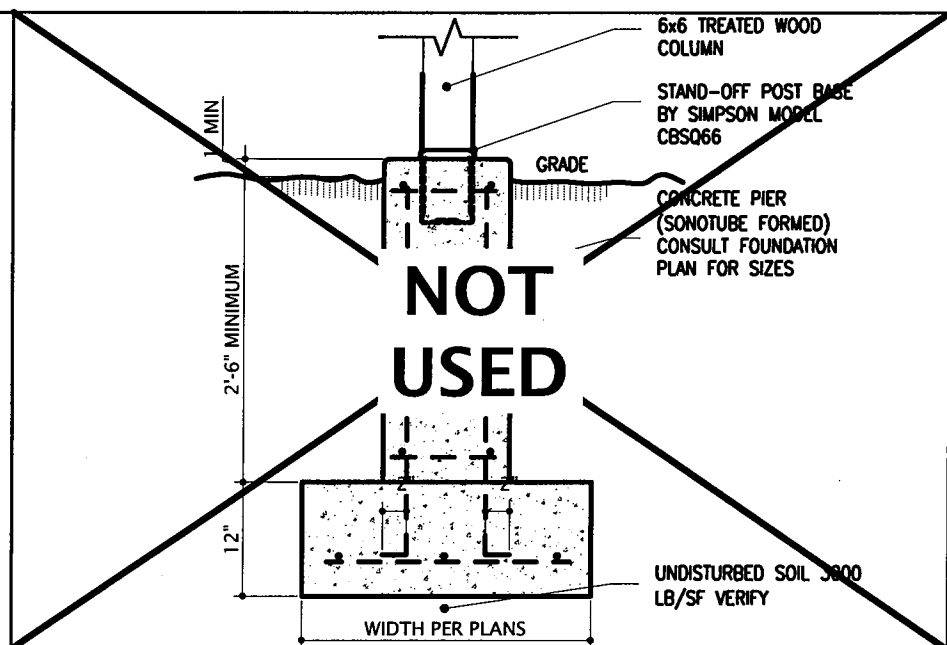
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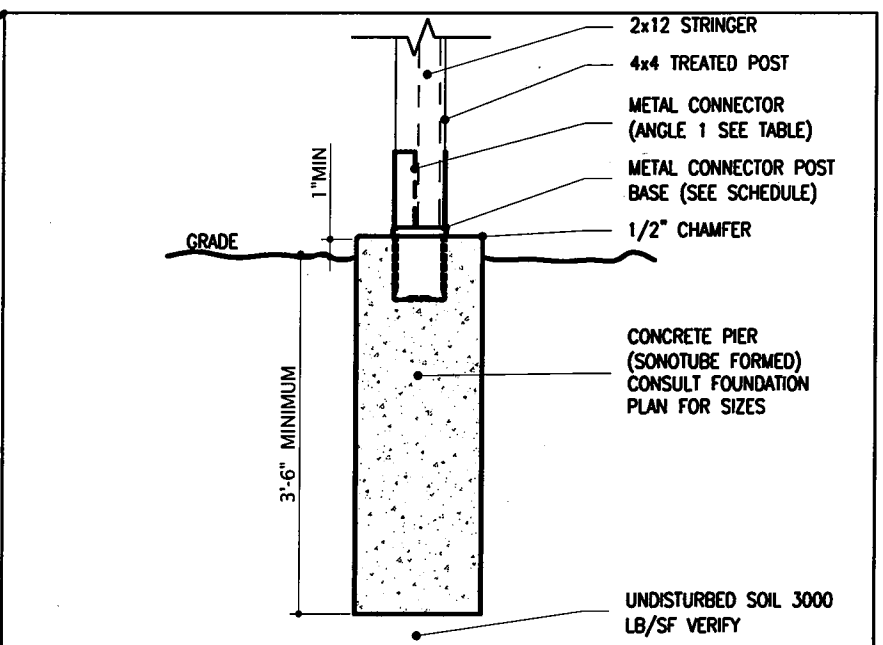
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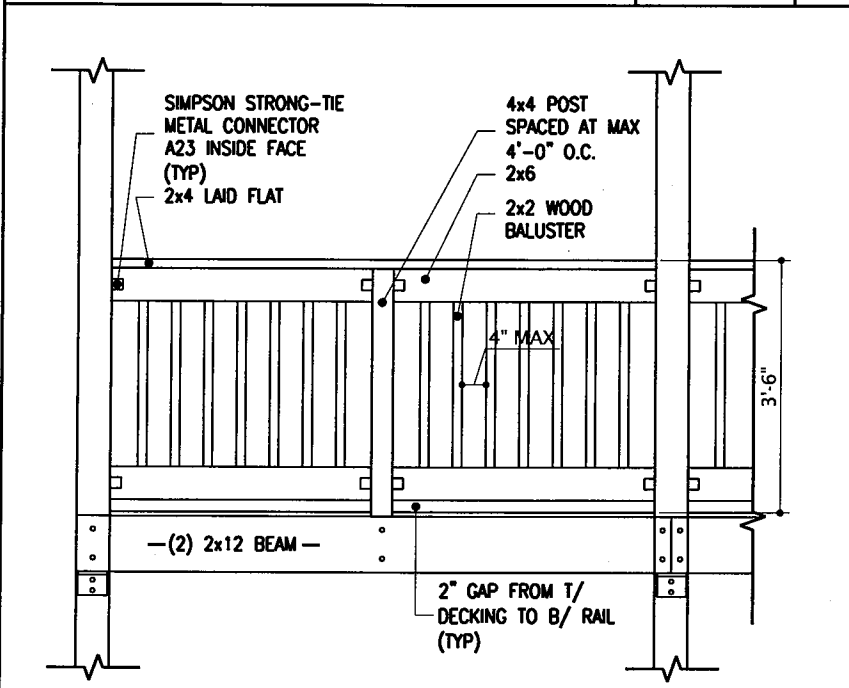
**COLUMN PIER** Scale: NTS  
File: 1



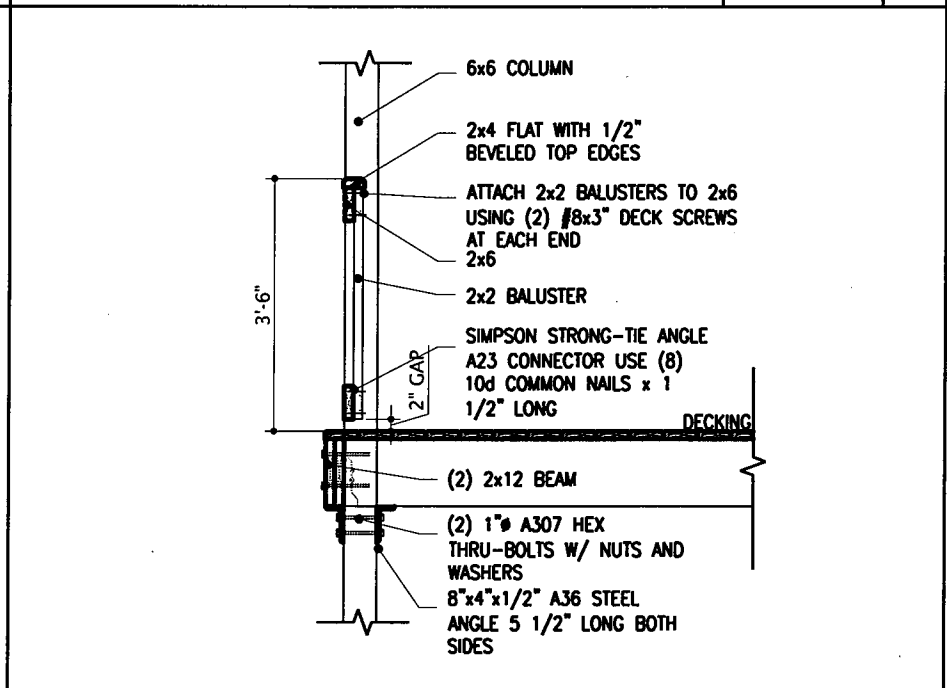
**COLUMN W/FOOTING** Scale: NTS  
File: 2



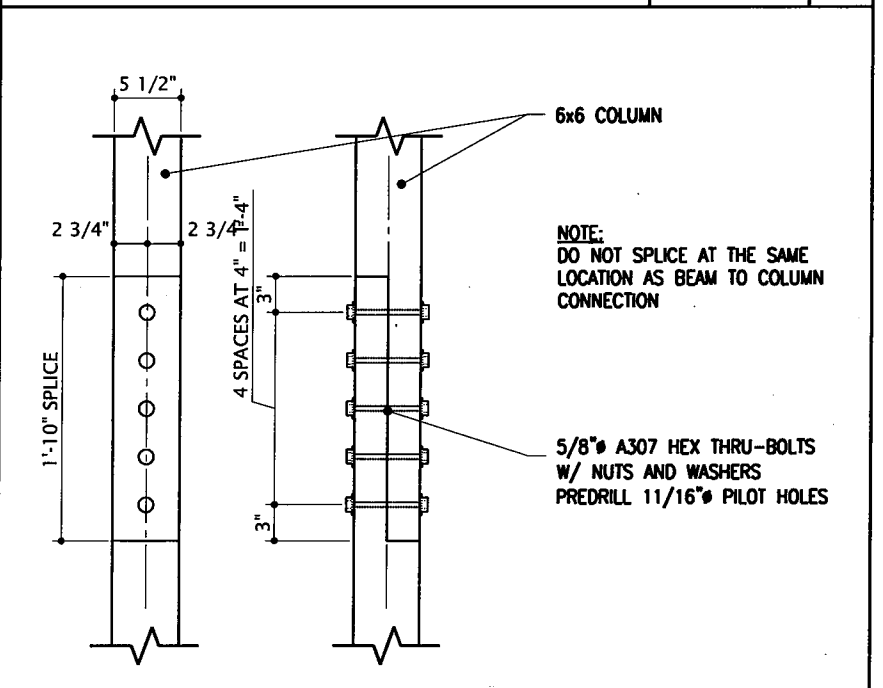
**STAIR STRINGER DET.** Scale: NTS  
File: 3



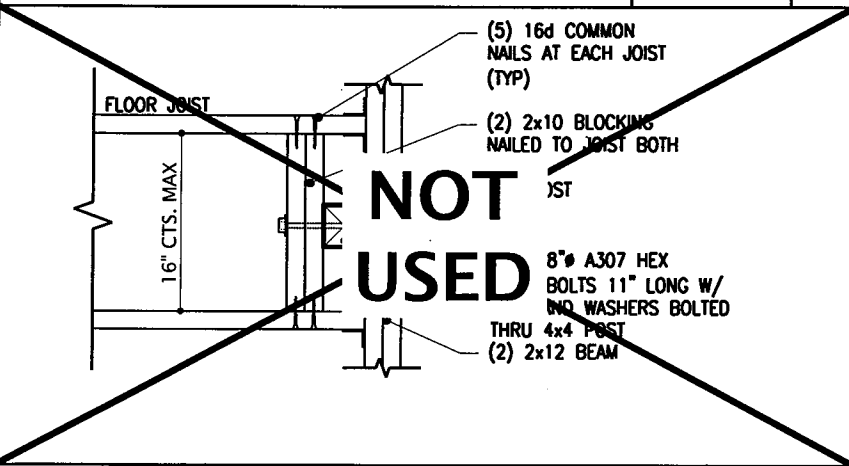
**RAILING ELEVATION** Scale: NTS  
File: 4



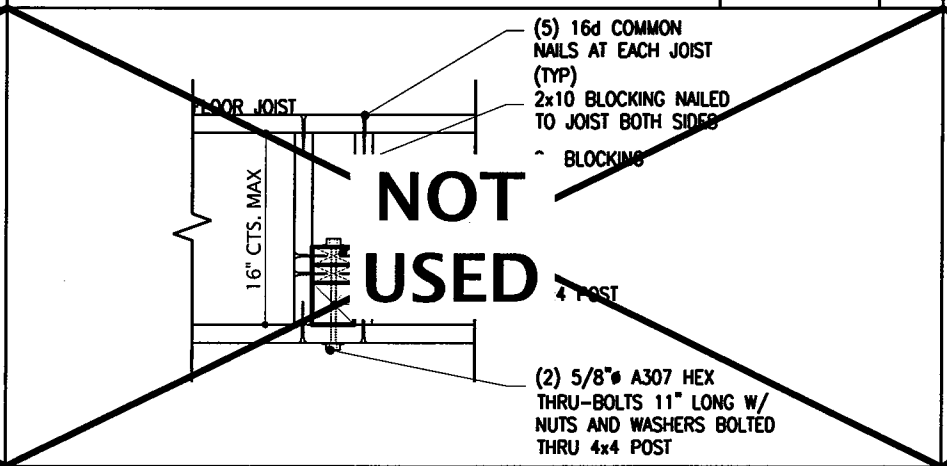
**RAILING SECTION** Scale: NTS  
File: 5



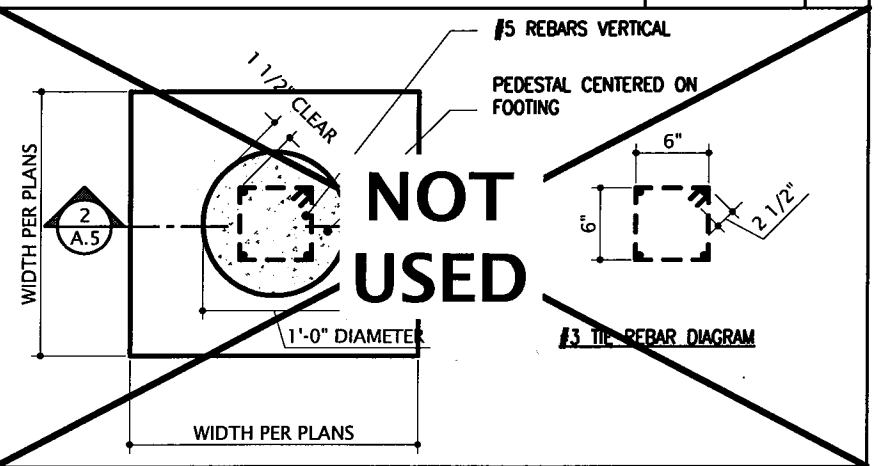
**COLUMN SPLICE DETAIL** Scale: NTS  
File: 6



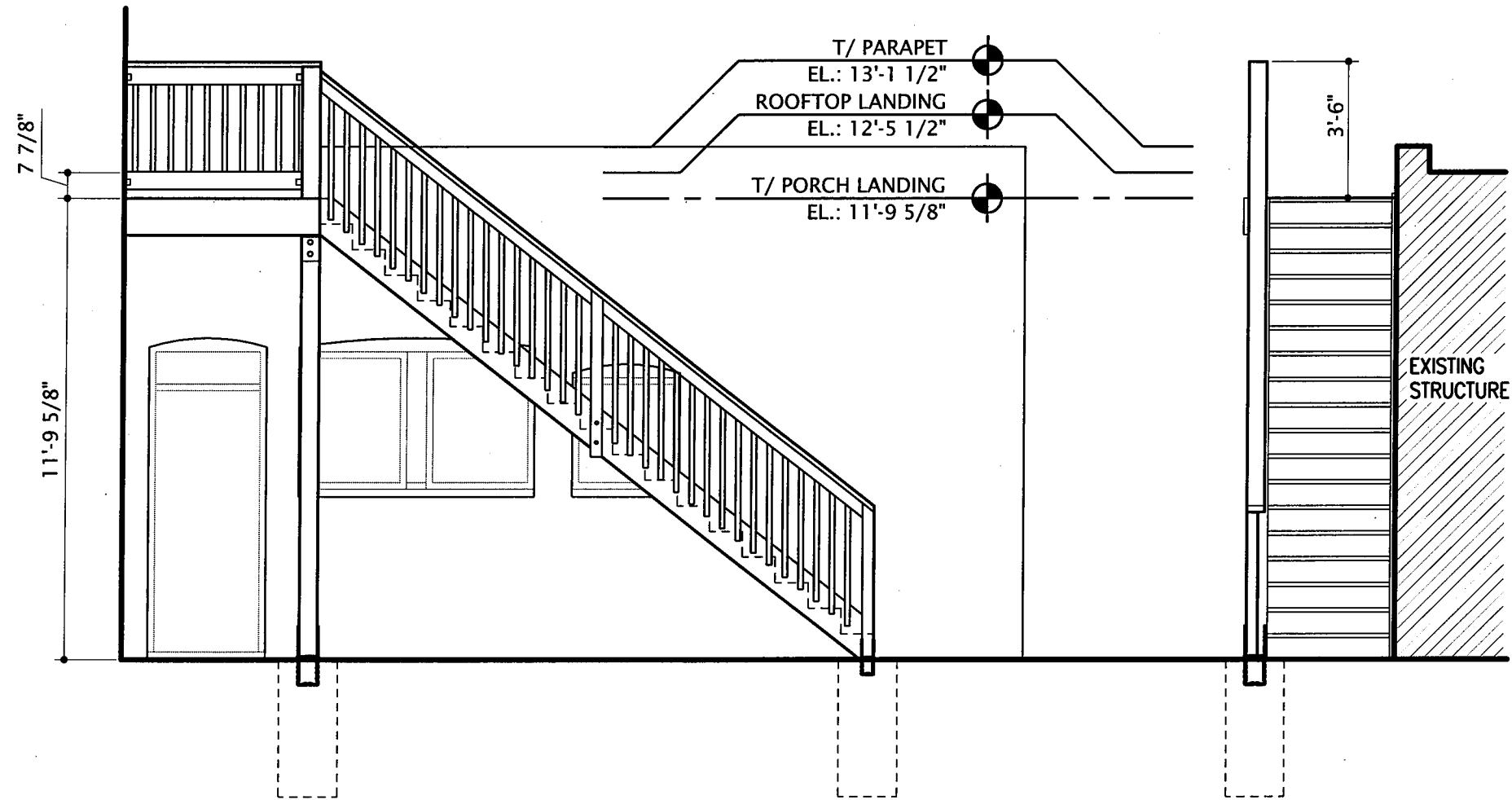
**RAILING POST AT BEAM** Scale: NTS  
File: 7



**RAILING POST AT JOIST** Scale: NTS  
File: 8



**PEDESTAL DETAIL** Scale: NTS  
File: 9

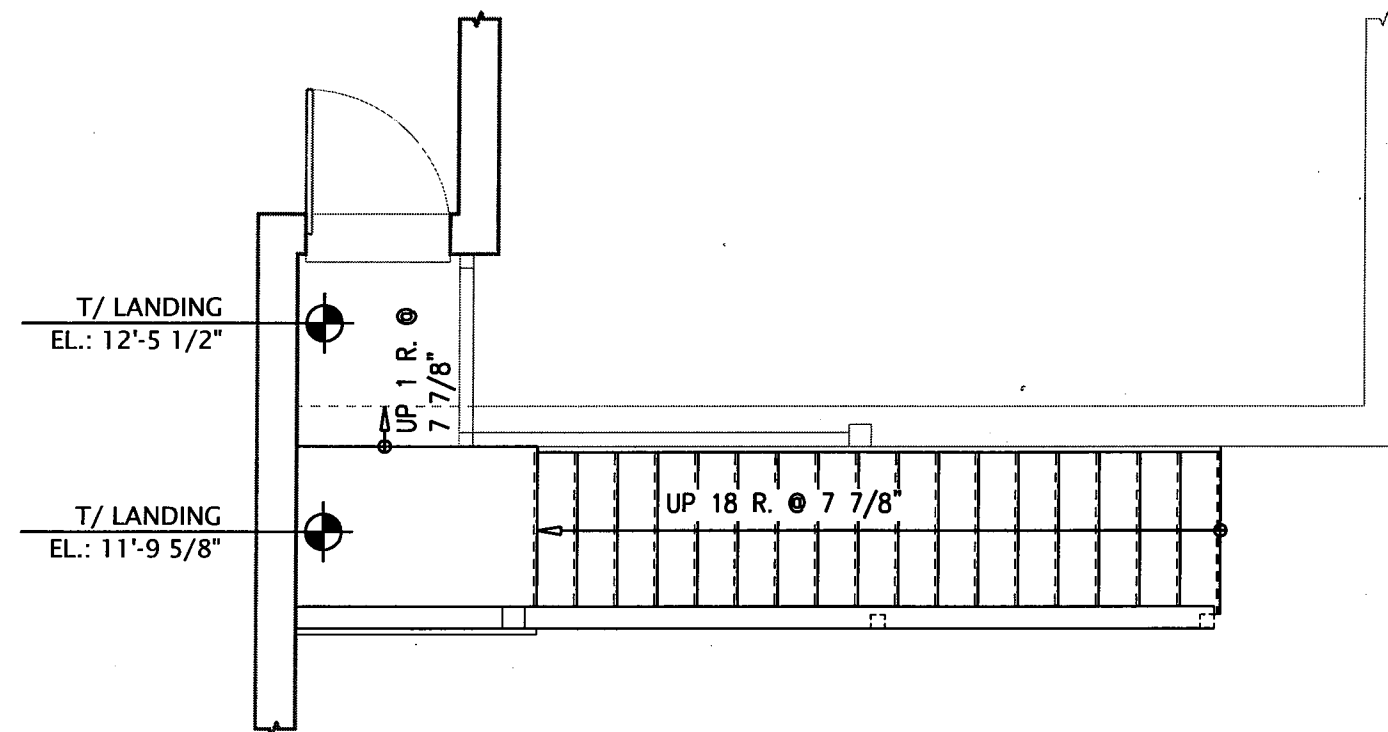


**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"

**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



**PROPOSED PORCH PLAN**

SCALE: 1/4" = 1'-0"

